

Public Meeting
Town of Rockport, Maine
Planning Board Agenda
Thursday, November 21, 2019
5:30 p.m. @ Rockport Opera House
6 Central Street, Rockport Maine

Site Visits:

The following site visits are scheduled before the Planning Board Meeting at 5 p.m.

First Site Visit: Scheduled at 5 p.m. at 6 Robinson Drive to review the site of the proposed child care use.

Second Site Visit: Scheduled at 5:15 at 20 Central Street to review the site of the proposed hotel

The Planning Board meeting will begin directly after the site visit is completed

Agenda:

Item# 1 Consideration of a pre- application submitted by Pine Gate Renewables , represented by Dale Knapp from Boyle Associates for the property currently under a proposed lease agreement located at 8 Fisk Lane Map 13 Lot 15 (908 district) (the proposed site has frontage at Route 17) to install a solar project .

Item #2 Consideration of an application submitted by Marga & Stephen Hutchinson for the property at 6 Robinson Drive, Map 16 Lot 95 (904 district) to operate at a Family Childcare at their home.

Item#3 Consideration of an application submitted by Gartley & Dorsky for the property owned by 20 Central Street LLC located at 20 Central Street, Map 029 Lot 293 (913 district) to construct a new 35-room hotel.

Item # 4: Consideration of the Meeting Minutes from the July, August and September 2019 Meetings

Item # 5 Adjournment

LETTER OF TRANSMITTAL

PROJECT NO. # 2018-128

DATE: November 12, 2019

TO: Town of Rockport
Planning Board
101 Main Street
Rockport, Maine 04856

RE: Site Plan Review Application
Rockport Harbor Hotel
20 Central Street
Rockport, ME

WE ARE SENDING YOU ☒ enclosed ☐ under separate cover

☒ Prints ☐ Mylar ☐ Deed description ☐ Proposal ☐ Billing
☐ Letter ☐ Report ☐ Copy of letter ☐ HHE 200 ☒ Application

COPIES	DATE	DESCRIPTION
13	November 12, 2019	Site Plan Review Application
1	November 12, 2019	Check # 37023 \$200.00

THESE ARE TRANSMITTED AS CHECKED BELOW:

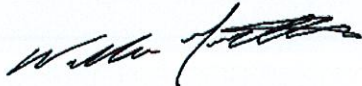
☐ As requested ☒ For your use ☒ For approval
☒ For Review and Comment ☐ Return with Corrections ☐ Other

REMARKS:

If you have any questions, please call us at 236-4365. Thank you for your attention to this matter.

Sincerely,

Gartley & Dorsky, Engineering & Surveying Inc.



William B. Gartley, P.E.
President

LETTER OF TRANSMITTAL

PROJECT NO. # 2018-128

DATE: November 12, 2019

TO: 20 Central Street, LLC
PO Box 812
Camden, ME 04843

RE: Site Plan Review Application
Rockport Harbor Hotel
20 Central Street
Rockport, ME

WE ARE SENDING YOU ☒ enclosed ☐ under separate cover

☒ Prints ☐ Mylar ☐ Deed description ☐ Proposal ☐ Billing
☐ Letter ☐ Report ☐ Copy of letter ☐ HHE 200 ☒ Application

COPIES	DATE	DESCRIPTION
1	November 12, 2019	Site Plan Review Application

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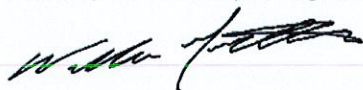
☐ As requested ☒ For your use ☐ For approval
☐ For Review and Comment ☐ Return with Corrections ☐ Other

REMARKS:

This application was submitted to the Town. If you have any questions please call me at 236-4365. Thank you.

Sincerely,

Gartley & Dorsky, Engineering & Surveying Inc.



William B. Gartley, P.E.
President

**20 Central Street, ROCKPORT, MAINE
SITE PLAN REVIEW**

Project No. 2018-128

**SUBMISSION LIST
November 12, 2019**

<u>Description of Document</u>	<u>Document Date</u>
1. Site Plan Review Application	November 12, 2019
2. Cover Letter	November 12, 2019
3. Written Statement	November 12, 2019
4. Performance Standards	November 12, 2019
5. Maine Water Letter	November 7, 2019
6. Sanitary Letter (pending)	-----
7. Warranty Deeds	-----
8. Agent Certification	November 8, 2019
9. Site Location Map	November 12, 2019
10. Aerial View	November 12, 2019
11. Rockport Tax Map 029	November 12, 2019
12. Site Photographs	October 7, 2019
13. Abutters List	November 12, 2019
14. Building Elevations by Bay View Management LLC	November 7, 2019
a. Central Street Elevation	
b. Parking Area Elevation	
c. Front Exterior Lighting Plan	
d. Back Exterior Lighting Plan	

- e. Landscape Plan
- f. North Elevation
- g. West Elevation
- h. South Elevation
- i. East Elevation

- | | |
|---|---|
| 15. Site Plan C1 | November 12, 2019 |
| 16. Civil Details C2 | November 12, 2019 |
| 17. Existing Conditions Topographic Survey V2 | October 22, 2019
(revised November 11, 2019) |
| 18. Proposed Conveyance Plan V3 | November 12, 2019 |

APPLICATION - SITE PLAN REVIEW

OWNER & APPLICANT INFORMATION (please print)

Property Owner(s): 20 Central Street, LLC
Owner(s) Mailing Address: PO Box 812, Camden, ME 04843
Owner(s) Tel. # 207-230-9206 Fax _____ Email tyler@bayviewmanagement.net
Applicant/Agent Gartley & Dorsky Engineering & Surveying
Agent's Mailing Address PO Box 1031, Camden, ME 04843
Agent's Tel. # 207-236-4365 Fax 207-236-3055 E-mail cgartley@gartleydorsky.com

PROJECT INFORMATION

Name of Project Rockport Harbor Hotel
Map: 029 Lot: 293 Lot Area: 0.07 Acres Project Footprint: +/-5,674 SF
911 E Street Address 20 Central Street Rockport, ME 04856

Site Plan Applicability:

- ☒ New non-residential or multi-family building
- ☐ Enlargement of non-residential or multi-family building
- ☐ Paving, filling or grading more than 5,000 square feet
- ☐ New use or change of use
- ☐ Pier, dock or bulkhead
- ☐ Other

Please provide a brief written description of proposed project (*use a word processor if easier*)

20 Central Street, LLC proposes to construct a new 35 room hotel. See Cover Letter for additional information.

To the best of my knowledge, all information submitted with this application is true and correct.

Signature of Applicant



Date: Nov 12, 2019

November 12, 2019

Town of Rockport Planning Board
101 Main Street
Rockport, ME 04856

**RE: Site Plan Review Application
Rockport Harbor Hotel
20 Central Street, Rockport**

Project No. 2018-128

Dear Planning Board:

Gartley & Dorsky Engineering & Surveying, Inc. submits this letter to the Town of Rockport for 20 Central Street, LLC, owner of the property at 20 Central Street. The owner proposes to construct a new 35-room hotel at 20 Central Street and 18 Central Street in Rockport, Maine. The owner owns both properties and is intending to transfer a portion of 18 Central Street to 20 Central Street, LLC, in order to construct the proposed hotel.

The new hotel will be built on the vacant lot between the existing Shepherd Block (18 Central Street) and the existing Martin Block (22 Central Street) buildings. The hotel will be a 5-story brick structure as measured from the Central Street elevation. The façade of the hotel will be set back from the existing sidewalk, allowing for greenspace between the hotel and sidewalk. In addition to the hotel rooms and associated guest amenities, a public bar/restaurant will be located on both the Central Street level and top level of the hotel. The proposed project will result in a new non-residential or multi-family building, therefore requires site plan review, per the Rockport Land Use Ordinance.

The Rights, Title and Interest of the property are summarized as follows:

Owner: 20 Central Street, LLC

Subject Parcel: Map 29 Lot 293; (18 Central Street: Map 29 Lot 291)

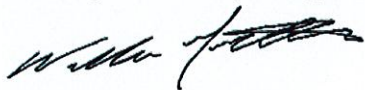
Deed: Book 5068 Page 66 (Existing deed. A new deed will be executed for the transfer of a portion of 18 Central Street: Book 5067 Page 328)

Zone: Rockport Downtown (913)

We are requesting placement on the November 21, 2019 Planning Board agenda. We look forward to presenting the proposed project to the board.

Sincerely,

Gartley & Dorsky, Engineering & Surveying Inc.



William B. Gartley, P.E.
President

MEMORANDUM

To: Rockport Planning Board

From: William Gartley, P.E.
Gartley & Dorsky Engineering & Surveying, Inc.

Date: November 12, 2019

Subject: **Site Plan Review, Written Statement
Rockport Harbor Hotel**

Gartley & Dorsky Engineering & Surveying, Inc. submits this Written Statement on behalf of 20 Central Street, LLC, in support of their proposal to construct a +/- 5,674 SF hotel at 20 Central Street and 18 Central Street in Rockport, Maine. The owner owns both properties and is intending to transfer a portion of 18 Central Street to 20 Central Street, LLC, in order to construct the proposed hotel.

The following are responses to the requirements in section 1304 of the Site Plan Review ordinance:

1304.1. Site Plan Content

A site plan or plans prepared at a scale of not less than 1 inch equals 40 feet, containing the following information: *The project plans have been prepared at a scale of 1 inch equals 20 feet.*

1. Name and address of the applicant or his authorized agent and name of proposed development and any land within 500 feet of the proposed development in which the applicant has title or interest.
Provided: See sheet C1.
2. Municipal map and lot numbers and names of abutting landowners.
An abutter list is provided as an attachment and the abutters are shown on sheet C1.
3. Plans drawn to scale detailing total floor area and footprint of each proposed structure and the lot coverage as defined in Section 300 of the Land Use Ordinance.
Provided: See sheet C1
4. Elevations drawn to scale detailing the proposed siding and roofing materials, sizes of door and window openings and other features that may assist the Planning Board in making appropriate findings related to Architectural Review as noted in Section 1003 of this Ordinance.
Provided: See sheets from Bay View Management, LLC

5. Scale, true north arrow, legend and a space for dates of any revisions that may be required.
Provided: See sheet C1.
6. Exact dimensions and acreage of parcel to be built upon. The corners of the parcel shall be located and marked on the ground and shall be referenced on the plan. For any site for which construction or grading is proposed, other than an enlargement of an existing building or construction of an accessory building, the Planning Board may require that the site plan includes an actual field survey of the boundary lines of the lot, giving complete descriptive data by bearings and distances made and certified by a registered land surveyor.
See sheets V2 & V3
7. Existing and proposed locations and dimensions of any utility lines, sewer lines, waterlines, easements, drainage ways, and public or private rights-of-way.
Provided: See sheets C1, V2 & V3
8. The size, shape, and location of existing and proposed buildings on the parcel.
Provided: See sheets C1 & V2.
9. If the site is to be served by a subsurface wastewater disposal system, a report by a licensed site evaluator shall be provided.
Not applicable: The site is served by public water and sewer.
10. Location and dimensions of on-site pedestrian and vehicular access ways, parking areas, loading and unloading facilities, design of ingress and egress of vehicles to and from the site onto public streets and curb and sidewalk lines.
See sheets C1 & V2.
11. Landscaping plan showing location, type and approximate size of plantings and location and dimensions of all fencing and screening. Maintenance and replanting provisions shall be noted.
New landscaping is planned near the Central Street entrance. See enclosed landscape plan.
12. Natural contours at intervals of two (2) feet and final contours at intervals of two (2) feet, the natural contours to be shown by dashed lines and the final contours to be shown by solid lines. Where sufficient detail cannot be shown with two (2) foot contours, spot evaluations shall be required, with existing spot evaluations shown in parentheses to be distinguishable from final spot elevations. Where construction will not disturb the entire lot proposed for development, the requirement to map contours or spot elevations shall apply only to those portions of the lot that will be altered in any way and portions of the lot downslope from the proposed alterations to an extent sufficient to clearly delineate the existing and proposed course of drainage and the point or points of discharge from the lot.
Provided: See sheet C1 for existing 2' contours and proposed 1' contours.

13. Specification of quantities and grades of materials to be used if land-filling is proposed.
Not applicable.
14. Photos of the project area prior to any site preparation shall be submitted with the map.
Photos of the project site are provided as an attachment.
15. A digital copy of lot lines and buildings shall be submitted, if available.
A digital copy of the Site Plan will be provided to the Town of Rockport upon Site Plan approval and final conveyance of property from the 18 Central Street parcel to the 20 Central Street parcel.

The following is a list of the items requested in section 1304.2 of the Site Plan Review ordinance:

1304.2 Written Statement

1. Evidence by the applicant of his title and interest on the land that the application covers.
Subject Parcel: Map 29, Lot 293
Deed Book: 5068 Page: 66
18 Central Parcel: Map 29, Lot 291
Deed Book: 5067 Page 328

Attached are the two deeds for the ownership of 18 and 20 Central Street showing title and interest in the land that the proposed hotel will be constructed on and where the required parking is located. Also provided is a letter from the applicant's attorney providing evidence that Marianne Smith and Stuart Smith are the owners and only members of the companies that own these parcels.

Upon Planning Board approval of the site plan application for this project the property owners will transfer ownership of a portion of the 18 Central Street parcel as shown on sheet V3 to expand the 20 Central Street parcel to include the new building and abutting parking lot on one parcel under the ownership of 20 Central Street, LLC. Mark A. Coursey, the registered agent for these companies has certified in his letter that the owners have the authority to complete this transaction.

2. A description of the proposed uses to be located on the site.

This site plan application is to construct an in-town Village hotel to be known as the Rockport Harbor Hotel on a portion of the 18 Central Street lot and the vacant 20 Central Street lot where the Bartlett Building was located until the early 1970's.

The Hotel will have 35 guest rooms (facing both Central Street and Rockport Harbor) and 2 Bars/Restaurants (lobby and top floor levels) open to the public.

3. Total floor area and footprint of each proposed building and structure and the lot coverage as defined in the Rockport Land Use Ordinance.

***Footprint = +/- 5,578 sq. ft.
Total Floor Area = +/- 32,700 sq. ft.
Lot coverage is not applicable to this parcel.***

4. Summary of existing and proposed easements, restrictions, and covenants on the property.
A copy of the current deed is attached. Additional easements are shown and referenced on sheet V3.
5. Method of solid, liquid, chemical, or other waste disposal.
Solid Waste from the site will be taken to the Mid-Coast Solid Waste Corporation.
6. Erosion and sedimentation control plan, stormwater drainage control plan, and soils information.
Erosion and sedimentation control measures are required for construction activity as outlined in the basic stabilization standards of Maine's Erosion and Sedimentation Control Law 38 MRSA § 420-C. Erosion and sedimentation control practices during construction shall be performed as outlined in the Maine Erosion and Sediment Control Best Management Practices (BMP's). Erosion and sedimentation control practices during construction shall be performed as indicated on the Plan Set by Gartley and Dorsky Engineering and Surveying, Inc. Stormwater runoff from the building will be directed to the existing stormwater in Central Street and in the parking area.
7. Approximate amount of blasting required, if any, and a disposition plan for removed materials. Any blasting shall be performed in accordance with Section 813 of this Ordinance.
Not applicable, no blasting is anticipated.
8. If public water and sewer are to be used, written statements from the water utility and sewer district shall be provided commenting on the capacity of the system and availability of the utility to provide service to the new development.
Provided: see attached written statements.
9. An estimate of the date when construction will start and be completed.
Construction of the work yard will begin in spring of 2020 and be completed by early 2021.
10. List of approvals and permits required by the Office of the State Fire Marshal and other State and Federal Agencies.
Maine State Fire Marshal requires:
 - 1) Construction permit***
 - 2) Barrier free construction permit***
 - 3) Fire sprinkler permit***

MEMORANDUM

To: Rockport Planning Board

From: William Gartley, P.E.
Gartley & Dorsky Engineering & Surveying, Inc.

Date: November 12, 2019

Subject: **Site Plan Review 1305, Performance Standards
Rockport Harbor Hotel, 20 Central Street, Rockport, ME**

Gartley & Dorsky Engineering & Surveying, Inc. submits this Written Statement on behalf of 20 Central Street, LLC, in support of their proposal to construct a +/- 5,674 hotel at 20 Central Street and 18 Central Street in Rockport, Maine. The owner owns both properties and is intending to sell a portion of 18 Central Street to 20 Central Street, LLC in order to construct the proposed hotel. See sheet C1 for proposed Site Plan.

1305 Performance Standards:

Preserve and Enhance the Landscape

The project lies in the 913 Rockport Downtown Zone. The proposed building will infill between two existing buildings. The parking is existing. There will be a small landscape area at the front entrance on Central Street.

Soils and Erosion Control

Erosion and sedimentation control measures are required for construction activity as outlined in the basic stabilization standards of Maine's Erosion and Sedimentation Control Law 38 MRSA § 420-C. Erosion and sedimentation control practices during construction shall be performed as outlined in the Maine Erosion and Sediment Control Best Management Practices (BMP's). Erosion and sedimentation control practices during construction shall be performed as indicated on the Plans.

Vehicular Access

The site is currently accessible by Central Street and Sandy's Way (the parking area on the rear of the site). These will remain. There are no proposed additional vehicular access points to the site.

Parking and Circulation

Section 803.1 Off – Street Parking and Loading Standards indicates the following minimum proposed parking spaces for the proposed uses:

35 Hotel Rooms: 2 parking spaces plus 1 parking space for each sleeping room = 37 parking spaces.

2 restaurants total 84 seats: 1 space for each 3 seats = 28 parking spaces.

If these two uses were independent, 65 parking spaces would be required. However, in this case these uses are not independent and there will clearly be common users of both the hotel and restaurants. In addition, the peak times for the restaurants do not coincide. The main function of the lower level restaurant (+/- 24 seats) will be breakfast for the guests. The top level restaurant (+/- 60 seats) will be busiest in the afternoon and evening with many of the customers being hotel guests. The restaurants will be open to the public and locals will be familiar with the many parking options available in the Village.

The last section in the table in 803.1 states “The Planning Board may, at its sole discretion, increase or decrease the above parking requirements depending upon individual applicant circumstances. An applicant requesting a deviation from the above standards must demonstrate to the satisfaction of the Planning Board that the request is appropriate to the planned use. ”

We contend that the 48 parking spaces in the parking area that will be part of the 20 Central Street property are adequate to support the proposed uses. 20 Central Street, LLC is well aware that its success is dependent on customers having access to their new building along with their existing buildings and tenants. As such, they will utilize strategies such as off-site parking for employees, valet parking, and shuttles for special events similar to other such establishments in neighboring towns and cities that have vibrant Downtown and Village areas.

Surface Water Drainage

The majority of the surface water runoff will be from the roof. That runoff will be collected and discharged to the existing stormwater systems in Central Street and the parking area to the south.

Existing Utilities

The project will not pose an unreasonable burden on existing utilities. See letters from Maine Water and Rockport Sanitary.

Special Features of Development

Not applicable, there are no proposed storage areas, exposed machinery, installations, service areas, truck loading areas, utility buildings or similar structures.

Exterior Lighting

The existing exterior lighting, in the parking area, is adequate for the proposed hotel. New entryway lighting will be integrated in the architecture. See attached lighting plan.

Emergency Vehicle Access

The existing entrances/exits provide adequate and safe emergency vehicle access to the site. The section of Main Street leading to the parking area is +/- 19 feet wide with a sidewalk on the easterly side.

Municipal Services

The proposed development will not have an impact on the municipal services.

Water Quality

The proposed development will not have a negative impact on the water quality, as drainage is safely handled and the use does not discharge any pollutants.

Air Quality

The proposed development will not have a negative impact on air quality, as the use does not have any air emissions.

Water Supply

The building will be served by the public water supply, Maine Water Company. See attached letter.



The Maine Water Company
93 Industrial Park Road
Saco, ME 04072

T: 207.282.1543
www.mainewater.com

November 7th, 2019

Gartley & Dorsky

ATTN: William T. Lane, P.E.

William B. Gartley, P.E.

59 Union St – Unit 1

P.O. Box 1031

Camden, ME 04843

Re: 20 Central Street – Proposed Hotel and Restaurant – Rockport, ME Ability to Serve Determination

Dear Mr. Lane,

The Maine Water Company (MWC) has received your request for Ability to Serve Determination on behalf of your client, 20 Central St, LLC for the above referenced project. The request indicates that the proposed domestic demand will be approximately 6,000 gallons per day. The preliminary sprinkler design is currently estimated to use approximately 370 gallons per minute. Domestic water and fire protection is available to your project. MWC does have adequate flows and pressure, in the area, from the existing 6-inch cast iron main on Central St. The static pressure in the area is approximately 110psi. Additional infrastructure improvements may be required at the expense of the developer to meet the overall needs of this project.

Conditions of Service

- The water lines must be tapped from the existing 6-inch main from Central St.
- Fire and domestic services must each be individually tapped from the main on Central St.
- Additional plan approval, paperwork and fees associated with services in this area will require additional coordination with MWC.
- The size of the water lines are still to be determined and must be approved by MWC.
- A hydrant flow test at the nearest hydrant may need to be conducted to ensure that adequate flows can be met during a peak fire demand event.

Should a Customer Agreement for service not be executed within one year of the date of this letter, MWC reserves the right to reevaluate its ability to service this project.

All work must be completed in accordance with Maine Water Company material and installation specifications. All appropriate paperwork must be completed and the deposit paid prior to the start of construction. Please forward all design plan revisions as the project develops to prevent construction delays.

Water service will be provided in accordance with our standard terms and conditions as well as Maine Public Utilities Commission rules. If you have any additional questions, please do not hesitate to contact our office at 1-800-287-1643 or my email at Marcus.Knipp@mainewater.com. We look forward to working with you throughout design and construction.

Sincerely,
The Maine Water Company

Marcus Knipp, E.I.T.
Engineer



QUITCLAIM DEED With Covenant

KNOW ALL BY THESE PRESENTS,

THAT **HFC-ROCKPORT, LLC**, a Delaware limited liability company registered to do business in the State of Maine whose mailing address is 1903 Wright Place, Suite 220, Carlsbad, CA 92008, in consideration of One Dollar (\$1.00) and other valuable consideration paid by **20 CENTRAL STREET LLC**, a Maine limited liability company whose mailing address is P.O. Box 812, Camden, ME 04843, the receipt of which it does hereby acknowledge, does hereby **remise, release, bargain, sell and convey and forever quitclaim** unto the said **20 CENTRAL STREET LLC**, its successors and assigns forever, **with Quitclaim Covenant**, a certain lot or parcel of land, situated on the southerly side of Central Street in the Town of Rockport, County of Knox, and State of Maine, being more particularly bounded and described as follows:

BEGINNING at a P.K. nail set in the southerly line of Central Street at the northwesterly corner of land to be conveyed from Penobscot Bay Ice Co., Inc. to Glen Cove TND, LLC;

THENCE South 11°07' East along the westerly line of said land to be conveyed to Glen Cove TND, LLC a distance of sixty (60.0) feet to a 5/8-inch rebar set;

THENCE South 80°05' West along the northerly line of said land to be conveyed to Glen Cove TND, LLC a distance of forty-eight and five-tenths (48.5) feet to a point at a corner of land now or formerly of Barbara G. Jackson (Book 2031, Page 162);

THENCE North 11°07' West along the easterly line of said land of Jackson as partitions run through the easterly side of Jackson's building known as the "Martin Block" a distance of sixty and one-tenth (60.1) feet to a point in the southerly line of Central Street;

THENCE North 80°11' East along the southerly line of Central Street a distance of forty-eight and five-tenths (48.5) feet to the POINT OF BEGINNING.

The herein described parcel contains 2,911 square feet and is designated as Parcel C on a Boundary Survey entitled "Graffam-Penobscot Bay Ice Co., Inc." by Landmark Corporation Surveyors & Engineers, dated February 22, 2008, revised March 4, 2008, and recorded in the Knox County Registry of Deeds in Cabinet 19, Sheet 150.

Bearings are referenced to Magnetic North 2008. Iron pins set are 5/8-inch rebar with surveyor's cap marked "Landmark Corp PLS 1339/2068".

TOGETHER WITH and SUBJECT TO a boundary line and reciprocal maintenance easement and agreement between HFC-Rockport, LLC and Barbara G. Jackson dated September 22, 2015 and recorded in the Knox County Registry of Deeds at Book 4980, Page 119.

REAL ESTATE TRANSFER TAX PAID

The premises are conveyed SUBJECT TO and TOGETHER WITH the terms of an Easement Deed from Fish and Ships Limited Liability Company to Glen Cove TND, LLC dated October 11, 2012 and recorded in the Knox County Registry of Deeds in Book 4576, Page 111.

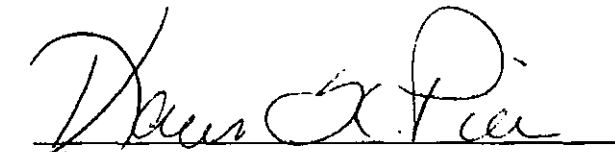
FOR REFERENCE see Quitclaim Deed from Rockport Properties, LLC to HFC-Rockport, LLC dated March 5, 2014 and recorded in the Knox County Registry of Deeds in Book 4778, Page 338.

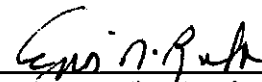
TO HAVE AND TO HOLD the same, together with all the privileges and appurtenances thereunto belonging, to the said **20 CENTRAL STREET LLC**, its successors and assigns forever.

IN WITNESS WHEREOF, the said **HFC-ROCKPORT, LLC** has caused this instrument to be signed and sealed in its company name by **Erin N. Ruhe**, its Vice-President, thereunto duly authorized, this 22 day of July, 2016.

Signed, Sealed and Delivered
in presence of

HFC-ROCKPORT, LLC


Witness

By: 
Erin N. Ruhe, Vice-President

STATE OF CALIFORNIA
COUNTY OF _____, ss.:

July _____, 2016

Then personally appeared before me the above-named **Erin N. Ruhe, Vice-President of said HFC-Rockport, LLC** as aforesaid, and acknowledged the foregoing instrument to be her free act and deed in her said capacity, and the free act and deed of said Limited Liability Company.

Before me,

Stamp or Seal:

Notary Public

Type or Print Name

My Commission Expires: _____

** see attached*

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)

County of San Diego)

On 7-22-16 before me, Tristan Clark Manoff, Notary Public
Date Here Insert Name and Title of the Officer

personally appeared Erin N. Ruhe
Name(s) of Signer(s)

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature Tristan Clark Manoff
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: _____ Document Date: _____

Number of Pages: _____ Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____ Signer's Name: _____

☐ Corporate Officer — Title(s): _____ ☐ Corporate Officer — Title(s): _____

☐ Partner — ☐ Limited ☐ General ☐ Partner — ☐ Limited ☐ General

☐ Individual ☐ Attorney in Fact ☐ Individual ☐ Attorney in Fact

☐ Trustee ☐ Guardian or Conservator ☐ Trustee ☐ Guardian or Conservator

☐ Other: _____ ☐ Other: _____

Signer Is Representing: _____ Signer Is Representing: _____



Instr # 2016-7113

ATTEST: Lisa J. Simmons, Knox County Registry of Deeds

QUITCLAIM DEED WITH COVENANT**KNOW ALL BY THESE PRESENTS,**

THAT **GLEN COVE TND, LLC**, a Delaware limited liability company registered to do business in the State of Maine, with a mailing address of 520 Madison Avenue - 11th Floor, New York, NY 10022, in consideration of one dollar and other valuable consideration, paid by **SHEPHERD BLOCK MARIANNE, LLC**, a Maine limited liability company, whose mailing address is P.O. Box 812, Camden, Maine 04843 and **SHEPHERD BLOCK STUART, LLC**, a Maine limited liability company, whose mailing address is P.O. Box 812, Camden, Maine 04843, the receipt whereof it does hereby acknowledge, does hereby give, grant, bargain, sell and convey with **Quitclaim Covenant** a 50% undivided interest unto the said **SHEPHERD BLOCK MARIANNE, LLC** and a 50% undivided interest unto the said **SHEPHERD BLOCK STUART, LLC**, as tenants in common, their successors and assigns forever, a certain lot or parcel of land with the buildings and improvements thereon, situated on the southerly side of Central Street and on the easterly side of Main Street in the Town of Rockport, County of Knox, and State of Maine, being more particularly bounded and described as follows:

REAL ESTATE TRANSFER TAX PAID

BEGINNING on the shore of Rockport Harbor at land of Mary E. Bok (now Mary Curtis Zimbalist); thence northwest by land of said Bok about 295 feet to a point which is 18 1/2 feet southerly of the southwest corner of the Carleton Brick Block, so-called (now owned by Rider); thence northeast by other land now or formerly of said Carleton, 57 feet to a point which is 21 1/2 feet southerly from the south well of said brick block extended; thence S. 13° E. (old course) by land now or formerly of the Rockport Ice Co., 93 1/2 feet to an angle in the line; thence S. 26° E. (old course) and still said Ice Co. land, 159 feet; thence S. 7° E. (old course) and still by said Ice Co. land about 15 feet to old capsill of the wharf; thence southwest by line of the old wharf to place of beginning. Together with all shore privileges thereunto pertaining and a right of way used in common with others to said property from Russell Avenue as now traveled and used.

ALSO CONVEYING a certain lot or parcel of land, together with building thereon, situated in said Rockport, Maine, and bounded and described as follows:

BEGINNING 21' 6" from the northeasterly corner of the Carleton-Norwood & Co. building at the easterly line of Martin Block lot, so called; thence easterly, bounded by Central Street, 48' 6" to right of way between the Rockport Ice Co.'s building and S. E. & H. L. Shepherd's store; thence southerly, bounded by said right of way 60' to southeasterly corner of building; thence westerly, bounded by right of way, 48' 6" to southeasterly corner of building; thence northerly as partition runs through said Rockport Ice Co.'s building and building known as the Martin or Packard Block, to the place of beginning. It being the Rockport Ice Co. Block, so-called; also a right of way on the southerly side of building, 20' wide, to be used in common; also all rights of way to Central Street between said Ice Co.'s building and S.E. & H.L. Shepherd's store.

ALSO CONVEYING another certain lot or parcel of land situated in said Rockport, with the buildings thereon located on and near Central Street, BOUNDED, westerly by the Martin Block, so-called, and land deeded by the Rockland-Rockport Lime Co. to H.L. Shepherd et als., southerly by Rockport Harbor, easterly by land of the Rockland-Rockport Lime Co., and northerly by land of G. S. Gardner, the YMCA, Mary Smart, E. S. Merrill, the Bank of Shepherd Block, so-called, by Central Street, and for a short distance by the southerly line of said Martin Block, the portion of said land bordering on Central Street being that between the Bank or Shepherd Block, so-called, and said Martin Block, and on which is the block containing the store of the Rockport Ice. Co., EXCEPTING, however, the block and lot already conveyed.

EXCEPTING AND RESERVING, however, the following lots of land: A certain lot or parcel of land with building thereon, known as the Rockport Ice Co. Block, so-called, and bounded and described as follows:

BEGINNING 21' 6" from the northeasterly corner of the Carleton Norwood Block lot, so-called, (now Rider) at the easterly line of the Martin Block, so-called (now Berry); thence easterly, bounded by Central St., 48' 6" to right of way between said Rockport Ice Co. building and the S. E. & H. L. Shepherd's store, formerly (now Knox County Trust Co.); thence southerly bounded by said right of way 48' 6" to southwesterly corner of building; thence northerly, as partitions run through the said Rockport Ice Co.'s building and building known as the Martin block, to the place of beginning. ALSO a right of way on the southerly side of the building 20' wide to be used in common; also all rights of way to Central Street between said Ice Co.'s building and said S.E. & H.L. Shepherd's store.

ALSO CONVEYING another certain lot or parcel of land situated in said Rockport bounded and described as follows:

BEGINNING at a granite post located at the southwest corner of the herein described property and on the shoreline of Rockport Harbor; thence N. 7° 30' West (Mag.) 163' along the east bound of the right of way to the Public Landing to an iron spike in the pavement; thence N. 89° 00' E. (Mag.) along the land now or formerly of Maine Coast Sea Food Corp., 401.8 ft. to an iron pipe at the land now or formerly of Walter L. Wolf, et als; thence S. 47° 00' W. (Mag.) along the land of said Wolf 106' to a granite marker set flush to the ground; thence continuing on the same course along the land of said Wolf, 44' more or less, to the high water line; thence along the shoreline of Rockport Harbor in a southwesterly course 287' more or less, to place of beginning.

ALSO INCLUDING all wharf and pier rights owned by said Maine Coast Sea Food Corp.

RESERVING to Maine Coast Sea Food Corp. the right to extend a pipe line across above described property for purpose of pumping water from Rockport Harbor, together with right to repair, replace and maintain said pipe line.

ALSO RESERVING AND EXCEPTING a certain pole line easement to Central Maine Power Company.

ALSO CONVEYING to said Grantee, its successors and assigns, and their business visitors, a right of way to be used in common with others to the above described premises from Russell Ave., as now traveled and used.

FOR REFERENCE see deed of Maine Coast Seafood Corporation to Penobscot Bay Ice Co. dated March 31, 1970 and recorded at the Knox County Registry of Deeds on August 15, 1972 at Book 534, Page 528.

EXCEPTING AND RESERVING an easement to The Town of Rockport dated February 18, 1997 and recorded at the Knox County Registry of Deeds at Book 2102, Page 156.

ALSO EXCEPTING AND RESERVING a certain lot or parcel of land, with the buildings thereon, more particularly described in a warranty deed from Penobscot Bay Ice Company, Inc. to Fish & Ships, LLC dated May 12, 2000 and recorded at the Knox County Registry of Deeds in Book 2476, Page 128.

ALSO CONVEYING a certain lot or parcel of land, with the buildings thereon, more particularly described in a warranty deed from James A. Heaward to Penobscot Bay Ice Company, Inc., dated July 29, 1946 recorded in Knox County Registry of Deeds at Book 291, Page 283.

ALSO CONVEYING all Grantor's right, title and interest in a certain lot or parcel of land situated in said Rockport bounded and described as follows:

BEGINNING at a P.K. nail set in the southerly line of Central Street at the northeasterly corner of land to be conveyed from The E. Maynard Graffam, Jr. Spouse's Trust to Rockport Properties, LLC;

THENCE (S 11°-07' E), along the easterly line of said land to be conveyed to Rockport Properties, LLC, a distance of (60.0) feet to a 5/8" rebar set;

THENCE (S 80°-05' W), along the southerly line of said land to be conveyed to Rockport Properties, LLC, a distance of (48.5) feet to a point at a corner of land now or formerly of Barbara G. Jackson (Book 2031, Page 162);

THENCE (S 80°-16' W), along the line of Jackson, a distance of (11.6) feet to a P.K. nail set;

THENCE (S 11°-10' E), along the easterly line of Jackson, a distance of (21.7) feet to a 5/8" rebar set;

THENCE (S 81°-45' W), along the southerly line of Jackson, and along the southerly line of land to be conveyed from Glen Cove TND, LLC to Rockport Properties, LLC, a distance of (60.1) feet to a P.K. nail set in the easterly line of Main Street;

THENCE (S 11°-12' E), along the easterly line of Main Street, a distance of (43.5) feet to a 5/8" rebar set at the northwesterly corner of land now or formerly of Fish & Ships, LLC (Book 2476, Page 128);

THENCE (N 88°-43' E), along the northerly line of Fish & Ships, LLC, a distance of (203.5) feet to a 5/8" rebar set;

THENCE (S 76°-23' E), along the northerly line of Fish & Ships, LLC, a distance of (17.4) feet to a 5/8" rebar set at the northeasterly corner of said land of Fish & Ships, LLC;

THENCE (S 01°-21' E), along the easterly line of Fish & Ships, LLC, a distance of (52.4) feet to a 5/8" rebar set in the northerly line of other land now or formerly of Fish & Ships, LLC (Book 1979, Page 125);

THENCE (N 89°-29' E), along the northerly line of other land of Fish & Ships, LLC, a distance of (189.1) feet to 5/8" iron bolt found in the northwesterly line of land now or formerly of the Inhabitants of the Town of Rockport (Book 624, Page 229);

THENCE (N 47°-22' E), along said northwesterly line of land of the Inhabitants of the Town of Rockport, a distance of (90.4) feet to 1" iron rod found in the southerly line of land now of formerly of John H. Surovek (Book 3485, Page 272);

THENCE (N 72°-44' W), along said southerly line of Surovek, a distance of (51.3) feet to 5/8" rebar set in the easterly line of land now or formerly of the Inhabitants of the Town of Rockport (Opera House parcel, Book 203, Page 512);

THENCE (S 00°-16' E), along said easterly line of said Opera House parcel, a distance of (2.1) feet to a 5/8" rebar found (capped "RLS 419") at the southeasterly corner of said parcel;

THENCE (N 85°-03' W), along the southerly line of said Opera House parcel, a distance of (70.0) feet to a 5/8" rebar found (capped "RLS 419") at the southeasterly corner of other land now or formerly of the Inhabitants of the Town of Rockport (Mary Lea Park parcel, Book 265, Page 234);

THENCE (N 76°-28' W), along the southerly line of said Mary Lea Park parcel, a distance of (128.9) feet to a 5/8" rebar found (capped "RLS 419") at the southeasterly corner of land now or formerly of Janice S. Graffam (Book 509, Page 104);

THENCE (N 85°-28' W), along the southerly line of said land of Graffam, and along the southerly line of a parcel owned by said Graffam (Book 567, Page 349) and The E. Maynard Graffam, Jr. Spouse's Trust (Book 2276, Page 155), a distance of (49.9) feet to a point;

THENCE (N 04°-40' E), along the westerly line of said parcel owned by said Graffam and said Trust, and along the easterly face of the building known as the "Shepherd Block", a distance of (70.1) feet to a point in the southerly line of Central Street;

THENCE (N 85°-21' W), along the southerly line of Central Street, a distance of (94.9) feet to POINT OF BEGINNING.

The herein described parcel contains 40,197 square feet (0.92 acres), and is designated as Parcel D on a boundary survey plan titled "Graffam – Penobscot Bay Ice Co., Inc." by Landmark Corporation Surveyors & Engineers, dated February 22, 2008 and revised March 4, 2008.

Bearings are referenced to Magnetic North 2008. Iron pins set are 5/8" rebar with surveyor's cap marked "Landmark Corp PLS 1339/2068". Hereby conveying all the land as described in a quit claim deed from Rendle A. Jones, Trustee of E. Maynard Graffam Souse's Trust and Janice Graffam to Penobscot Bay Ice Company, Inc. recorded in the Knox County Registry of Deeds in Book 3936, Page 163 and excepting the land as described in a quit claim deeds to Rendle A. Jones, Trustee of E. Maynard Graffam Souse's Trust and Janice Graffam from Penobscot Bay Ice Company, Inc. recorded in the Knox County Registry of Deeds in Book 3936, Pages 159 and 161.

ALSO EXCEPTING AND RESERVING an easement as granted in a deed from Penobscot Bay Ice Company, Inc. to Janice S. Graffam and Rendle A. Jones, Trustee of the E. Maynard Graffam Spouse's Trust recorded in the Knox County Registry of Deeds in book 3936, Page 167 for vehicular and pedestrian ingress and egress over a portion of the premises of Penobscot Bay Ice Co., Inc. described in a deed from Maine Coast Seafood Corp. to Penobscot Bay Ice Co., Inc. dated March 31, 1970 and recorded in the Knox County Registry of Deeds at Book 534, Page 628.

The easement shall be located on two areas. The first area shall be twelve (12) feet in width running generally easterly from Main Street over the existing pavement to the westerly bound of the second area described below and shall be for ingress and egress only and not for parking. The second area shall be thirty (30) feet in width, shall abut the first, 12 foot wide area and shall be used for ingress and egress and for parking and is described as follows:

BEGINNING at a point in the southerly line of a parcel owned by The E. Maynard Graffam, Jr. Spouse's Trust (Book 2276, Page 155) and by Janice S. Graffam (Book 567, Page 349). Said point is situated (S 85°-28' E) and (5.0) feet from the southwest corner of said parcel; THENCE (S 85°-28' E), along the southerly line of said parcel and along the southerly line of other land now or formerly of Janice S. Graffam (Book 509, Page 104), a distance of (30.0) feet to a point; THENCE (S 04°-40' W), a distance of (19.2) feet to a point; THENCE (N 84°-34' W), a distance of (30.0) feet to a point; THENCE (N 04°-40' E), a distance of (18.8) feet to the POINT OF BEGINNING.

The herein described easement is designated as the thirty (30) foot wide easement for the benefit of Parcels E and F on a boundary survey plan titled "Graffam - Penobscot Bay Ice Co., Inc." by Landmark Corporation Surveyors & Engineers, dated February 22, 2008 and revised March 4, 2008 recorded in the Knox County Registry of Deeds in Cabinet 19 Sheet 150.

Bearings are referenced to Magnetic North 2008.

ALSO CONVEYING the Grantor's reserved right to relocate the first, 12 foot wide, easement area granted herein, provided, however, that (i) the relocated easement area shall provide access that is comparable to the existing easement, (ii) the easement area shall be paved, and (iii) the relocated easement area shall nevertheless abut the entire southerly bound of the second, 30 foot wide, easement area.

ALSO CONVEYING the right to enforce the covenant described as follows:

"By acceptance of this easement, the Grantees, for themselves and their successors, heirs, and assigns, covenant that they will indemnify and hold harmless the Grantors and their heirs and assigns from any loss or damage arising from their use of the easement and shall further agree to be financially responsible for the cost of any repairs to the easement area caused by the Grantees or their successors, heirs, assigns, tenants, contractors, agents, employees, or other invitees."

This easement is appurtenant to and for the benefit of property described in deeds recorded in the Knox County Registry of Deeds at Book 509, Page 104, Book 567, Page 349, and Book 2276, Page 155.

ALSO EXCEPTING certain view easements conveyed to Janice S. Graffam and Rendle A. Jones, Trustee of The E. Maynard Graffam, Jr. Spouse's Trust by Penobscot Bay Ice Company, Inc. by a deed recorded in the Knox County Registry of Deeds in Book 3936 Page 167 and encumbering the following described premises:

Easement Parcel One:

BEGINNING at the southwesterly corner of a parcel owned by The E. Maynard Graffam, Jr. Spouse's Trust (Book 2276, Page 155) and by Janice S. Graffam (Book 567, Page 349);

THENCE (S 04°-40' W), a distance of (60.4) feet to a point in the northerly line of land now or formerly of Fish & Ships, LLC (Book 2476, Page 128);

THENCE (N 88°-43' E), along said northerly line of Fish & Ships, LLC, a distance of (25.0) feet to a 5/8" rebar set;

THENCE (S 76°-23' E), along said northerly line of Fish & Ships, LLC, a distance of (17.4) feet to a 5/8" rebar set at the northeasterly corner of said land of Fish & Ships, LLC;

THENCE (N 12°-01' E), a distance of (61.2) feet to a 5/8" rebar found (capped "RLS 419") at the southeasterly corner of land now or formerly of Janice S. Graffam (Book 509, Page 104);

THENCE (N 85°-28' W), along the southerly line of Graffam, and along the southerly line of the aforementioned parcel owned by said Graffam and The E. Maynard Graffam, Jr. Spouse's Trust, a distance of (49.9) feet to the POINT OF BEGINNING.

The herein described easement is designated as "View Easement A" on a boundary survey plan titled "Graffam – Penobscot Bay Ice Co., Inc." by Landmark Corporation Surveyors & Engineers, dated February 22, 2008 and revised March 4, 2008 recorded in the Knox County Registry of Deeds in Cabinet 19 Sheet 150.

Bearings are referenced to Magnetic North 2008.

The easement area is subject to the following covenant:

"The Grantees, their heirs and assigns, may trim and cut those portions of such vegetation which are more than fifty-six (56) feet NGVD (1929). The Grantor, for itself and its successors and assigns, covenants that it will not erect or maintain any structures within the easement area that are at an elevation of more than fifty-six (56) feet NGVD (1929)."

Easement Parcel Two:

BEGINNING at the southwesterly corner of a parcel owned by The E. Maynard Graffam, Jr. Spouse's Trust (Book 2276, Page 155) and by Janice S. Graffam (Book 567, Page 349);

THENCE (S 37°-19' W), a distance of (76.9) feet to a point in the northerly line of land now or formerly of Fish & Ships, LLC (Book 2476, Page 128);

THENCE (N 88°-43' E), along said northerly line of Fish & Ships, LLC, a distance of (41.7) feet to a point. Said point is situated (S 88°-43' W) and (25.0) feet from a 5/8" rebar set at an angle point in said northerly line of Fish & Ships, LLC;

THENCE (N 04°-40' E), a distance of (60.4) feet to the POINT OF BEGINNING.

The herein described easement is designated as "View Easement B" on a boundary survey plan titled "Graffam – Penobscot Bay Ice Co., Inc." by Landmark Corporation Surveyors & Engineers, dated February 22, 2008 and revised March 4, 2008 recorded in the Knox County Registry of Deeds in Cabinet 19 Sheet 150.

Bearings are referenced to Magnetic North 2008.

The easement area is SUBJECT to the following covenant:

"The Grantees, their heirs and assign, may trim and cut any vegetation. The Grantor, for itself and its successors and assigns, covenants that it will not erect or maintain any structures within the described premises."

TOGETHER WITH and SUBJECT TO a Reciprocal Maintenance Easement and Agreement between Rendle A. Jones, Trustee of the E. Maynard Graffam Spouse's Trust, Janice S. Graffam and Penobscot Bay Ice Company, Inc., dated March 28, 2008 and recorded at the Knox County Registry of Deeds at Book 3936, Page 171.

FOR REFERENCE see deed of Penobscot Bay Ice Company, Inc. to Glen Cove TND, LLC dated March 28, 2008 and recorded at the Knox County Registry of Deeds at Book 3936, Page 173.

TOGETHER WITH and SUBJECT TO a drainage easement granted by Fish and Ships, LLC to Glen Cove TND, LLC on October 11, 2012 and recorded in the Knox County Registry of Deeds at Book 4576, Page 111.

ALSO CONVEYING AND ASSIGNING all rights and obligations of Glen Cove TND, LLC, as Landlord under a certain Commercial Lease with Option to Purchase an easement by and between Glen Cove TND, LLC and Rockport Properties, LLC dated May 11, 2016 pertaining to the use of a parking lot situated on the property described herein, SUBJECT TO the rights and obligations of Rockport Properties, LLC as Tenant. See Memorandum of Lease recorded herewith.


SUBJECT TO a utilities easement granted by Glen Cove TND, LLC to Rockport Properties, LLC on August 21, 2013 and recorded in the Knox County Registry of Deeds at Book 4739, Page 233.

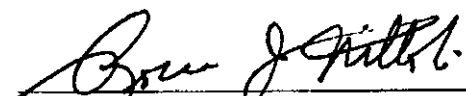
TO HAVE AND TO HOLD the aforegranted and bargained premises, with all the privileges and appurtenances thereof, to the said SHEPHERD BLOCK MARIANNE, LLC AND SHEPHERD BLOCK STUART, LLC, their successors and assigns, to its and their use and behoof forever.

IN WITNESS WHEREOF, the said **Glen Cove TND, LLC** has caused this instrument to be signed and sealed in its company name by **Rocco J. Nittoli**, its Vice-President duly authorized, on this 22nd day of July, 2016.

Signed, Sealed and Delivered
in presence of

GLEN COVE TND, LLC


Witness

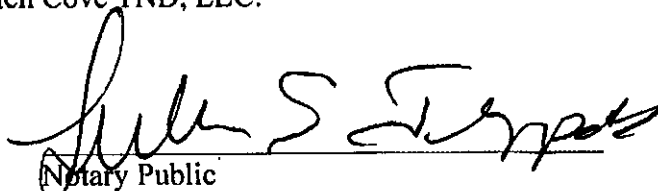

by **Rocco J. Nittoli**
Its Vice President

STATE OF NEW YORK
COUNTY OF NEW YORK, ss.:

July 22, 2016

Then personally appeared the above named **Rocco J. Nittoli**, Vice President of said **Glen Cove TND, LLC** and acknowledged the foregoing instrument to be his free act and deed in his said capacity, and the free act and deed of said **Glen Cove TND, LLC**.

Before me,


Notary Public

Julie E. Terpak
Type or Print Name

Stamp or Seal:

My Commission Expires: 9/8/19

SEAL

JULIE E. TERPAK
Notary Public - State of New York
No. 01TE6330061
Qualified in New York County
My Commission Expires September 8, 2019

**SHEPHERD BLOCK MARIANNE, LLC
SHEPHERD BLOCK STUART, LLC
20 CENTRAL STREET, LLC**

Registered Agent's Certificate

I, Mark A. Coursey, am the Registered Agent for Shepherd Block Marianne, LLC, Shepherd Block Stuart, LLC and 20 Central Street, LLC ("Companies") certify the following to the Town of Rockport Planning Board:

1. I maintain custody of the books and records of the Companies, which show that Marianne Smith and Stuart Smith are the only Members of the Companies and have the power to authorize development, alterations to boundaries, or any conveyance of all or any portion of the Real Property owned by the Companies, or to negotiate and bind the Companies to agreements regarding said Real Property as required; and

2. The Companies are each Maine limited liability companies in good standing.

November 8, 2019


Mark A. Coursey, Registered Agent

STATE OF MAINE
COUNTY OF KNOX

Mark A. Coursey personally appeared before me this 8th day of November 2019 in his said capacity and acknowledged the foregoing to be his free act and deed in his said capacity.


Notary Public

Crystal Thomas
Notary Public, Maine
My Commission Expires May 26, 2022





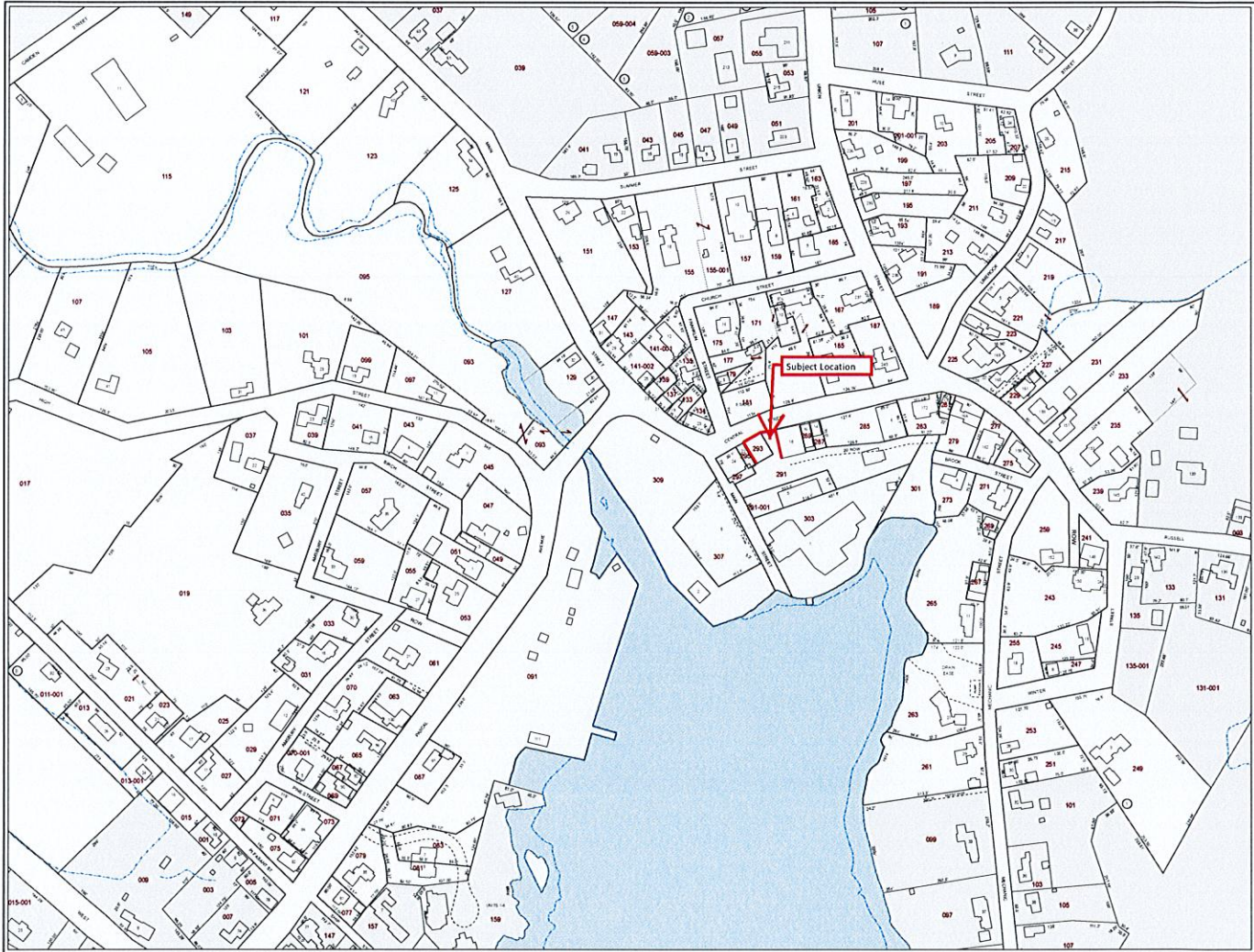
Gartley & Dorsky
ENGINEERING SURVEYING
CAMDEN, MAINE (207) 236-4365
WWW.GARTLEYDORSKY.COM

Aerial View: 20 Central Street ROCKPORT, MAINE

November 2019

PROJ. NO 2018-128

SITE PLAN REVIEW



TOWN OF
ROCKPORT
KNOX COUNTY, MAINE
April 1, 2011



DISCLAIMER
This map is compiled from 2001 aerial photography, existing surveys, deeds, and landowner's descriptions. They are to be used for assessment purposes only.

LEGEND

- Property Hook
- - - Easement Line
- - - Hydrography Line
- - - Town Line
- Parcel
- Water
- Subdivision Lot No.
- 12 Building w/
Street Number



Map 29B

Printed: 12/3/2011



PICTURE 1
DATE: 10-7-19



PICTURE 2
DATE: 10-7-19



PICTURE 3
DATE: 10-7-19



PICTURE 4
DATE: 10-7-19



PICTURE 5
DATE: 10-7-19



PICTURE 6
DATE: 10-7-19



PICTURE 7
DATE: 10-7-19



**Rockport Harbor Hotel
20 Central Street Rockport, ME - SITE PLAN REVIEW
ABUTTERS LIST**

MAP 29 - LOT 131
CHARLES FOOTE
P.O. BOX 688
ROCKPORT, ME 04856

MAP 29 - LOT 181
TOWN OF ROCKPORT
FRANKLIN/CENTRAL STS
ROCKPORT, ME 04856-0010

MAP 29 - LOT 181
TOWN OF ROCKPORT
FRANKLIN/CENTRAL STS
ROCKPORT, ME 04856-0010

MAP 29 - LOT 297
24 CENTRAL ST, LLC
P.O. BOX 812
CAMDEN, ME 04843

MAP 29 - LOT 295
STUART G. & MARIANNE W. SMITH
P.O. BOX 812
CAMDEN, ME 04843

MAP 29 - LOT 291
SHEPHERD BLOCK MARIANNE, LLC
SHEPHERB BLOCK STUART, LLC
P.O. BOX 812
CAMDEN, ME 04843

MAP 29 - LOT 289
14-16 CENTRAL STREET, LLC
P.O. BOX 812
CAMDEN, ME 04843

MAP 29 - LOT 287
14-16 CENTRAL STREET, LLC
P.O. BOX 812
CAMDEN, ME 04843

MAP 29 - LOT 285
TOWN OF ROCKPORT
OPERA HOUSE
ROCKPORT, ME 04856

MAP 29 - LOT 283
JOHN H. SUROVEK
P.O. BOX 925
ROCKPORT, ME 04856

MAP 29 - LOT 309
TOWN OF ROCKPORT
P.O. BOX 10
ROCKPORT, ME 04856

MAP 29 - LOT 303
FISH & SHIPS, LLC
P.O. BOX 203
ROCKPORT, ME 04856-0203

MAP 29 - LOT 303
FISH & SHIPS, LLC
P.O. BOX 203
ROCKPORT, ME 04856-0203

MAP 29 - LOT 301
TOWN OF ROCKPORT
HARBOR LOT
ROCKPORT, ME 04856



MEMORANDUM

TO: Planning Board, Town of Rockport, ME
CC: Bill Najpauer, Planner and Community Development Director, Town of Rockport
FROM: Nate McLaughlin, P.E., Woodard & Curran
DATE: November 20, 2019
RE: 20 Central Street LLC - Rockport Hotel Development Plan Review

Gartley & Dorsky Engineering & Surveying (G&D) is working with a private developer, 20 Central Street LLC, to propose a new hotel in the Village area of the Town of Rockport. As part of the Town's Planning Board review process, any new development needs to be reviewed by the Town's Sewer Department for comment on the system's capacity to accommodate service for the development. The Town has asked Woodard & Curran (W&C) to review the proposed development and provide comments that the Planning Board may review with regards to sewer capacity and wastewater infrastructure for the new hotel.

The following is a summary of the information provided to W&C through emails with G&D. The proposed hotel will be located at 20 Central Street and have 35 guest rooms, a breakfast room and a 75-seat restaurant. The hotel will be located between two existing mixed-use buildings owned by the private developer. G&D has utilized the Maine Subsurface Wastewater Disposal Rules to estimate the wastewater flows from the new hotel. The following flows represent those estimated by G&D.

Flow Condition	Estimated Flow
Average Daily Flow	4,000 Gal./Day
Maximum Daily Flow	6,000 Gal./Day
Peak Flow	31 Gal./Min.

W&C has reviewed the flow rates estimated by G&D and the reference sources used to derive the values. Upon review and comparison of the estimated values to widely utilized wastewater engineering textbook references, W&C determined that the estimated flow rates are acceptable for use in preliminary design and capacity analysis.

The sewer coming from the proposed hotel will drain to the Main Street Extension Pump Station (PS). This pump station is rated for approximately 40 gallons/minute (gpm). W&C reviewed pump run time data from April 2017 – April 2018 to estimate the existing flows to the Main Street Extension PS. The average and maximum day flow to the PS during this time period was approximately 1,930 gallons/day (gpd) and 7,700 gpd respectively.

Utilizing industry standard references combined with the pump run time data, a peaking factor of 7.3 can be assumed for the peak flow rate when the average daily flow is less than 100,000 gpd. Using this peaking factor, the peak flow to the pump station can be estimated as approximately 10 gpm. This indicates that the Main Street Extension PS may not have capacity to accept the estimated peak flows of 31 gpm from the proposed hotel and remain under its rated capacity of 40 gpm.



Since the Main Street Extension PS does not have a flow meter and the peak flows are estimated using industry references, W&C does not believe the Planning Board should allow sewer discharge from the proposed hotel to the Main Street Extension PS without further investigation into true station capacity and flows. W&C recommends the Town perform a draw-down test at the Main Street Extension PS to confirm the true capacity of the pumps. Should it be determined that there is the potential for the development to exceed the capacity of the Main Street Extension PS, then an upgrade to the PS may be necessary.

Flow from the Main Street Extension PS discharges into gravity sewer that leads to the Goose River PS. This pump station also needs to be able to handle the increased flows from the proposed hotel. The Goose River PS is rated for approximately 320 gpm. Like the Main Street Extension PS, W&C reviewed pump run time data from April 2017 – April 2018 to estimate the existing flows. The average and maximum day flow to the PS during this time period was approximately 104,000 gpd and 167,000 gpd respectively.

Utilizing industry standard references combined with pump run time data, a peaking factor of 2.8 can be assumed for the peak flow rate when the average daily flow is 104,000 gpd. Using this peaking factor, the peak flow to the pump station can be estimated as approximately 200 gpm. This indicates that the Goose River PS should have ample capacity to accept the estimated peak flows of 31 gpm from the proposed hotel and remain under its rated capacity of 320 gpm. W&C recommends the Town perform a draw-down test at the Goose River PS to determine the true pump capacity as well.

A PS draw-down test may determine that the two pump stations' pumps have additional capacity above that of its design valve or may have lower capacity due to age and wear of the pumping equipment. It is important to get a current look at the pumps existing capacity to see if current conditions can accept the added flows.

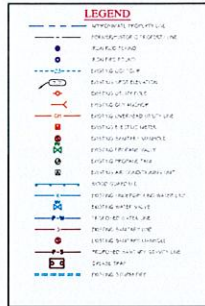
Attachment #1 to this memo is the most recent site plan that W&C has received and reviewed for the proposed development. W&C has reviewed the plan and presents the following comments for consideration by the Planning Board.

1. It is recommended the Town determine the ownership of the existing 6-inch sewer line that runs through the private parking lot. The sewer line, if privately owned, appears to have multiple service connections tied into it. Per the Rockport Sewer Ordinance, "a separate and independent sewer shall be provided for every building except where one building stands at the rear of another or an interior lot and no private sewer is available or can be constructed to the rear building through an adjoining alley courtyard or driveway...". Although the Sewer Ordinance restricts the proposed hotel from tying into this line, if found to be private, it is certainly the most rational and convenient location to connect to existing sewer. W&C recommends the Town secure a permanent easement to allow access to the full length of existing 6-inch sewer should the line be determined to be private. If an easement is granted to the Town by the Owner of the parking lot, W&C recommends the Town grant a variance and allow the hotel to tie into the existing 6-inch sewer in the parking lot.
2. The manhole (MH) with rim elevation 41.88 in Main Street is noted to have a 6-inch pipe in from the parking lot to the left and a 6-inch outlet pipe that runs down Main Street towards the Main Street Extension PS. The original design drawings for this area of sewer indicate the outlet pipe is 8-inch and the pipe from the parking lot was intended to be 8-inch. W&C recommends additional investigation to confirm the pipe sizes listed on the plan.
3. The plan appears to indicate that the Rockport Opera House is tied into the sewer that runs through the private parking lot off Main Street. The original design drawings have the Opera



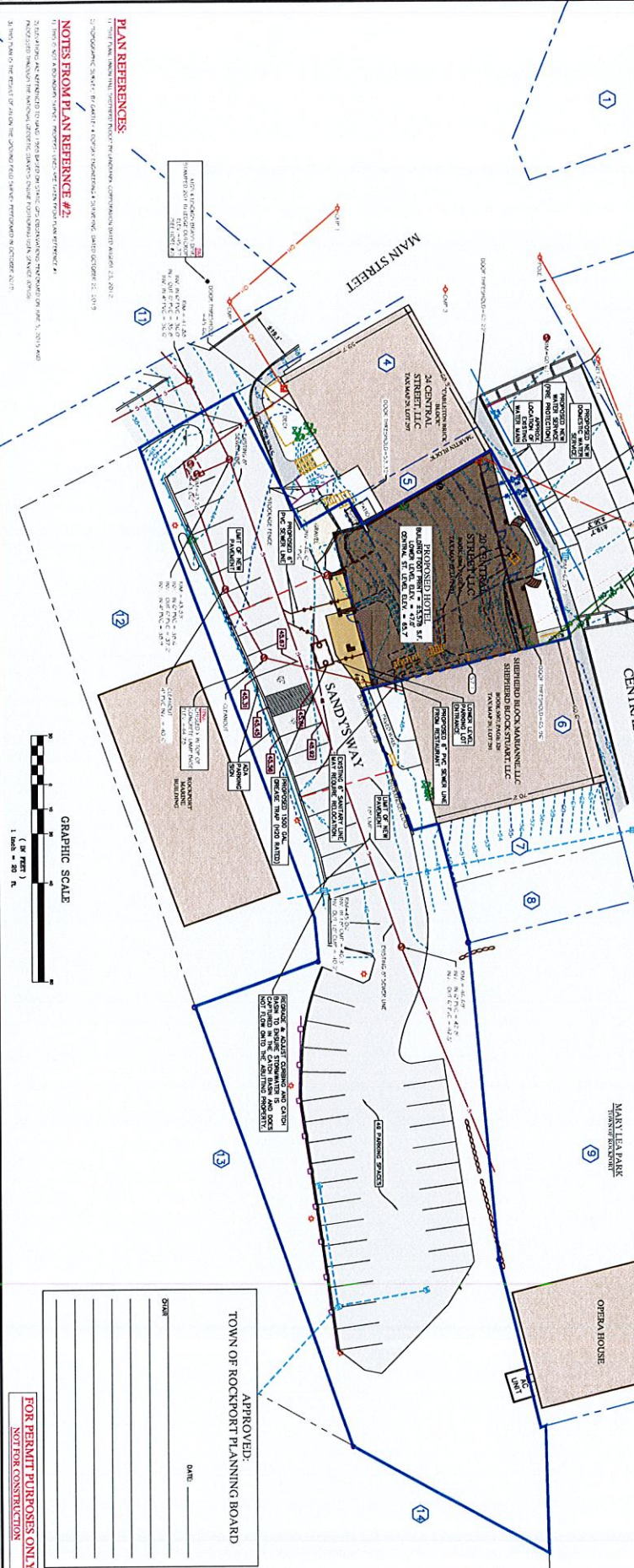
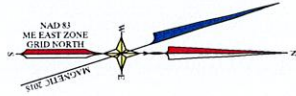
House being tied into the sewer along Central Street. W&C recommends additional investigation to confirm where the Opera House ties into the sewer.

4. It is assumed that the proposed 1,500-gallon H2O-rated tank to be located in the private parking lot is a grease trap and will intercept the sewer lateral from the proposed restaurant. W&C recommends having the grease trap labeled as such on the development plan. It is also recommended to have the 4-inch lateral labeled as "restaurant lateral" if applicable. G&D may want to consider upsizing the 4-inch lateral from the restaurant to 6-inch to reduce the risk of grease accumulation in the pipe.
5. Not enough information has been provided to W&C on the proposed restaurant to determine if a 1,500-gallon grease trap is appropriate. W&C recommends the Planning Board inquire further on how the grease trap size was determined. Keeping grease out of the Town's sewers and pump stations is of the utmost importance.
6. A note calls for a new 6-inch PVC sewer line inside of the Shepard Building, although no sewer line is indicated. W&C recommends the Planning Board seek clarification if a new sewer line will be installed in the Shepard Building and where it will connect to existing sewer.

[illegible]

<p>ADVANCE COPY</p> <p>Project No: 2019-128</p> <p>C1</p>		<p>Gartley & Dorsky ENGINEERING SURVEYING</p> <p>9100 Stone Street, Suite 100, New York, NY 10014-2011 Tel: (212) 261-1000 Fax: (212) 261-1001 P: (212) 261-2400 F: (212) 261-2405 100 Main Street 2/F, New York, NY 10038 100 Main Street 2/F, New York, NY 10038</p>		<p>Client: STU SMITH Address: 20 CENTRAL STREET Location: 20 CENTRAL STREET City: KNOX State: MAINE Date: NOVEMBER 4, 2019</p>		<p>Sheet Title: SITE PLAN</p>		<p>Scale:</p>		<p>Drawn by:</p>		<p>Check by:</p>	
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OWNER	OWNER
1	20 CENTRAL STREET, LLC
2	20 CENTRAL STREET, LLC
3	20 CENTRAL STREET, LLC
4	20 CENTRAL STREET, LLC
5	20 CENTRAL STREET, LLC
6	20 CENTRAL STREET, LLC
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98	20 CENTRAL STREET, LLC
99	20 CENTRAL STREET, LLC
100	20 CENTRAL STREET, LLC



PLAN REFERENCES:

1. TOWN OF ROCKPORT, MEAST ZONE 18N MAGNETIC 2015

2. TOWN OF ROCKPORT, MEAST ZONE 18N MAGNETIC 2015

3. TOWN OF ROCKPORT, MEAST ZONE 18N MAGNETIC 2015

4. TOWN OF ROCKPORT, MEAST ZONE 18N MAGNETIC 2015

5. TOWN OF ROCKPORT, MEAST ZONE 18N MAGNETIC 2015

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LEGEND

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9. TOWN OF ROCKPORT, MEAST ZONE 18N MAGNETIC 2015

10. TOWN OF ROCKPORT, MEAST ZONE 18N MAGNETIC 2015

GENERAL SITE NOTES:

1. TOWN OF ROCKPORT, MEAST ZONE 18N MAGNETIC 2015

2. TOWN OF ROCKPORT, MEAST ZONE 18N MAGNETIC 2015

3. TOWN OF ROCKPORT, MEAST ZONE 18N MAGNETIC 2015

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7. TOWN OF ROCKPORT, MEAST ZONE 18N MAGNETIC 2015

8. TOWN OF ROCKPORT, MEAST ZONE 18N MAGNETIC 2015

9. TOWN OF ROCKPORT, MEAST ZONE 18N MAGNETIC 2015

10. TOWN OF ROCKPORT, MEAST ZONE 18N MAGNETIC 2015

FOR PERMIT PURPOSES ONLY

NOT FOR CONSTRUCTION

APPROVED:

TOWN OF ROCKPORT PLANNING BOARD

DATE: _____

CLIENT PROJECT:

ROCKPORT HARBOR HOTEL

20 CENTRAL STREET, LLC

LOCATION: 20 CENTRAL STREET

TOWN: ROCKPORT **COUNTY:** KNOX **STATE:** MAINE

Gartley & Dorsky

ENGINEERING SURVEYING

59 Union Street, Unit 1, P.O. Box 1031 Camden, ME 04843-1031

Ph (207) 236-4365 Fax (207) 236-3055 Toll Free 1-888-282-4365

165 Main Street Suite 2P P.O. Box 1072 Danversville, Maine 04843

Ph (207) 760-5065

SHEET TITLE:

SITE PLAN

SCALE: 1" = 20'


DATE: NOVEMBER 12, 2019

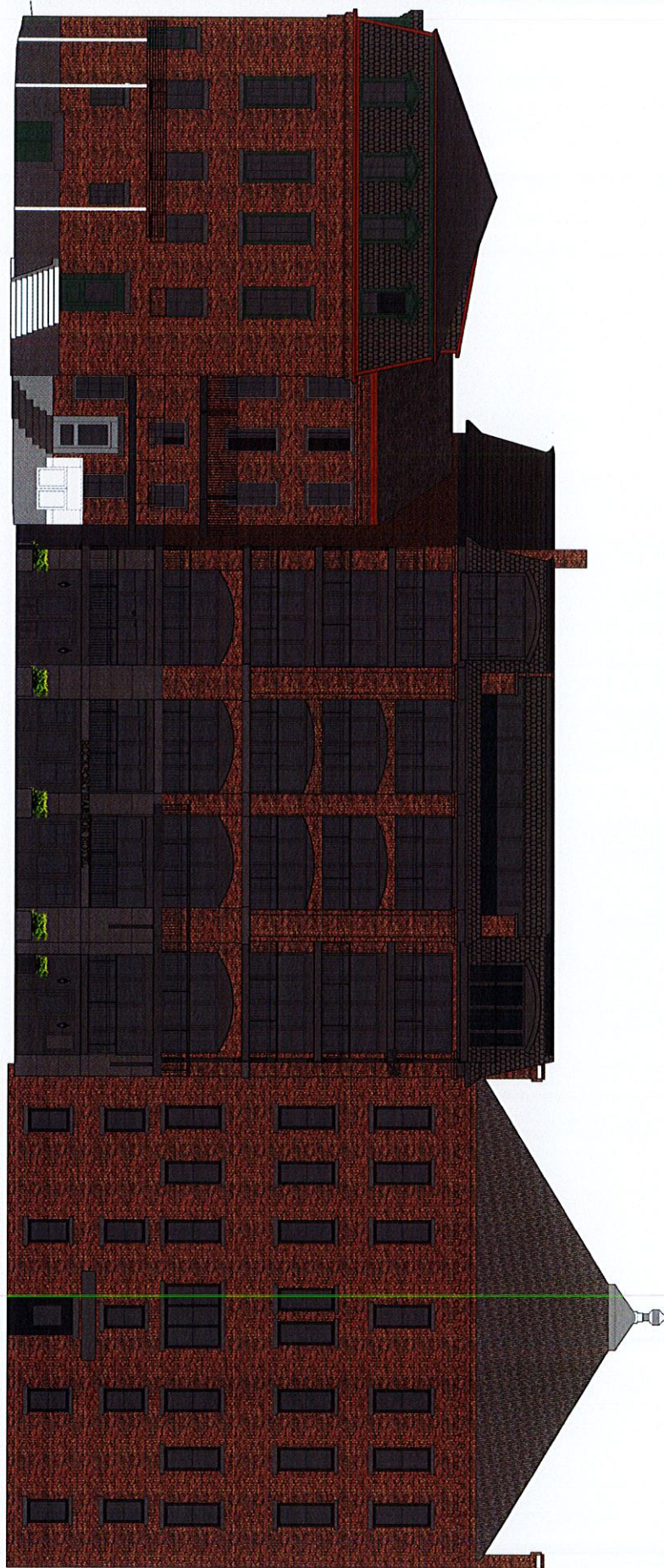
DRAWN BY: LP **CHECKED BY:** WSD


REVISIONS:

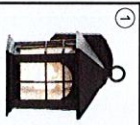
NO.	REVISIONS	DATE
1	ADDED CURB & GATCH BASIN GRADING NOTE	12/11/19
2	REVISION SANITARY LINE SIZES	11/02/19



	 <p>Bay View Management, LLC</p> <p>P.O. Box 812 Camden, ME 04843 Phone (207) 236-0040 Fax (207) 236-2479</p>	<p>PROJECT: ROCKPORT HARBOR HOTEL</p>	<p>SHEET TITLE: CENTRAL STREET ELEVATION</p>	<p>REV NEW</p>
		<p>LOCATION: 20 CENTRAL STREET ROCKPORT, ME 04856</p>	<p>DATE: NOVEMBER 7, 2019</p>	



	 <div>Bay View Management, LLC P.O. Box 812 Camden, ME 04843 Phone (207) 236-0040 Fax (207) 236-2479</div>	PROJECT: ROCKPORT HARBOR HOTEL	SHEET TITLE: PARKING AREA ELEVATION	REV NEW
		LOCATION: 20 CENTRAL STREET ROCKPORT, ME 04856	DATE: NOVEMBER 7, 2019	



LIGHT #1

USE: WALL MOUNT EXTERIOR DECK LIGHTS
 FINISH: WROUGHT IRON OR OIL RUBBED BRONZE
 LAMP TYPE: FILAMENT STYLE LED (EDISON SOCKET)
 ELUX: 150 LUMENS (20 WATT EQUIVALENT)
 CCT: 2700K "WARM WHITE" (COLOR TEMPERATURE)
 NOTES: LIGHTS TURNED ON AT DUSK TURNED OFF AT 11PM. GUESTS CAN ALSO OVERRIDE OPERATION



LIGHT #2

USE: INDIRECT SIGN ILLUMINATION
 FINISH: N/A
 LAMP TYPE: INTEGRATED STRIP LED
 ELUX: 100 LUMENS PER LINEAR FOOT
 CCT: 2700K "WARM WHITE" (COLOR TEMPERATURE)
 NOTES: LIGHTS TURNED ON AT DUSK TURNED OFF AT DAWN. DESIGNED FOR SIGN ILLUMINATION.



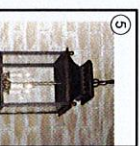
LIGHT #3

USE: LOW VOLTAGE LANDSCAPE LIGHTING
 FINISH: WROUGHT IRON OR OIL RUBBED BRONZE
 LAMP TYPE: INTEGRATED LED
 ELUX: 100-200 LUMENS (10-20 WATT EQUIVALENT)
 CCT: 3000K "WARM WHITE" (COLOR TEMPERATURE)
 NOTES: HARD SCENE CUTOFF OF LIGHT. INTENDED FOR LANDSCAPE AND PATH ILLUMINATION.



LIGHT #4

USE: STEP MOUNT EXTERIOR TREAD LIGHTS
 FINISH: WROUGHT IRON OR OIL RUBBED BRONZE
 LAMP TYPE: INTEGRATED LED
 ELUX: 150 LUMENS (10 WATT EQUIVALENT)
 CCT: 2700K "WARM WHITE" (COLOR TEMPERATURE)
 NOTES: HARD SCENE CUTOFF OF LIGHTS. INTENDED FOR TREAD ILLUMINATION. 2 PER TREAD.



LIGHT #5

USE: HANGING ACCENT LIGHT
 FINISH: COPPER, BRASS OR OIL RUBBED BRONZE
 LAMP TYPE: FILAMENT STYLE LED (EDISON SOCKET)
 ELUX: 175-150 LUMENS (10 WATT EQUIVALENT)
 CCT: 3000K "WARM WHITE" (COLOR TEMPERATURE)
 NOTES: LIGHTS TURNED ON AT DUSK TURNED OFF AT DAWN. ILLUMINATE ENTRANCE AND FRONT DECK.



LIGHT #6

USE: WALL MOUNT EXTERIOR DECK LIGHTS
 FINISH: WHITE OR OIL RUBBED BRONZE
 LAMP TYPE: INTEGRATED LED
 ELUX: 200 LUMENS (25 WATT EQUIVALENT)
 CCT: 3000K "WARM WHITE" (COLOR TEMPERATURE)
 NOTES: LIGHTS TURNED ON AT DUSK TURNED OFF AT DAWN. GUESTS CAN ALSO OVERRIDE OPERATION.



**Bay View
 Management, LLC**

P.O. Box 812 Camden, ME 04843
 Phone (207) 236-0040 Fax (207) 236-2479

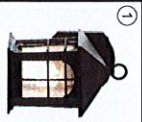
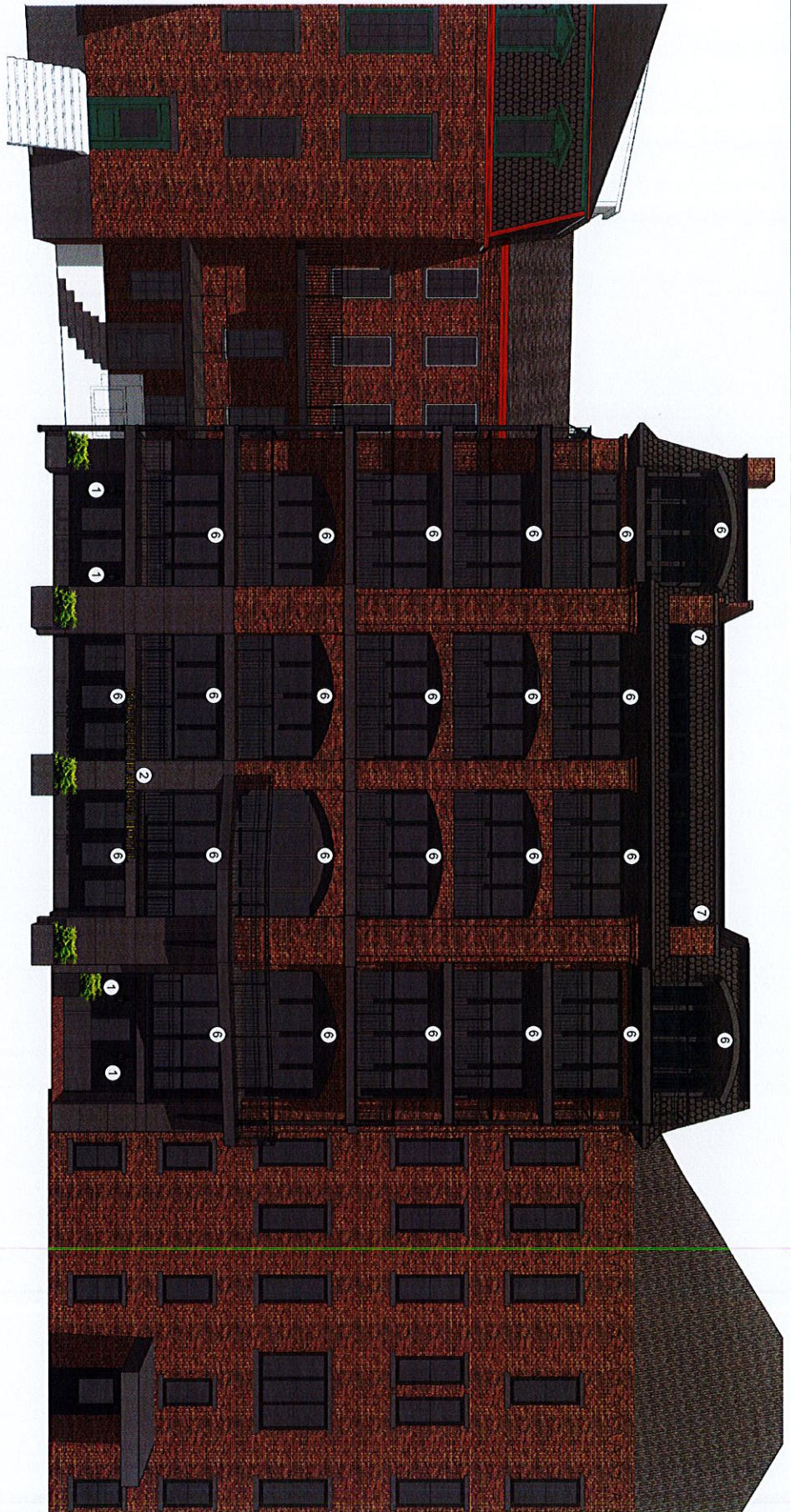
PROJECT:
 ROCKPORT HARBOR HOTEL

LOCATION:
 20 CENTRAL STREET
 ROCKPORT, ME 04856

SHEET TITLE:
 FRONT EXTERIOR
 LIGHTING PLAN

DATE:
 NOVEMBER 7, 2019

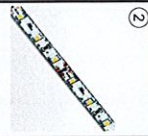
REV NEW



①

LIGHT #1

USE: WALL MOUNT EXTERIOR DECK LIGHTS
 FINISH: WROUGHT IRON OR OIL RUBBED BRONZE
 LAMP TYPE: FILAMENT STYLE LED (EDISON SOCKED)
 EULX: 150 LUMENS (20 WATT EQUIVALENT)
 CCT: 2700K "WARM WHITE" COLOR TEMPERATURE
 NOTES: LIGHTS TURNED ON AT DISK TURNED OFF AT 11PM. GUESTS CAN ALSO OVERRIDE OPERATION.



②

LIGHT #2

USE: INDIRECT SIGN ILLUMINATION
 FINISH: N/A
 LAMP TYPE: INTEGRATED STRIP LED
 EULX: 100 LUMENS PER LINEAR FOOT
 CCT: 2700K "WARM WHITE" COLOR TEMPERATURE
 NOTES: LIGHTS TURNED ON AT DISK TURNED OFF AT DAWN. DESIGNED FOR SIGN ILLUMINATION.



⑥

LIGHT #6

USE: VALANCE MOUNT EXTERIOR DOWNLIGHTS
 FINISH: WHITE OR OIL RUBBED BRONZE
 LAMP TYPE: INTEGRATED LED
 EULX: 390 LUMENS (25 WATT EQUIVALENT)
 CCT: 3000K "WARM WHITE" COLOR TEMPERATURE
 NOTES: LIGHTS TURNED ON AT DISK TURNED OFF AT DAWN. GUESTS CAN ALSO OVERRIDE OPERATION.



⑦

LIGHT #7

USE: WALL MOUNT EXTERIOR SCONCE LIGHTS
 FINISH: WROUGHT IRON OR OIL RUBBED BRONZE
 LAMP TYPE: INTEGRATED LED
 EULX: 600 LUMENS (60 WATT EQUIVALENT)
 CCT: 2700K "WARM WHITE" COLOR TEMPERATURE
 NOTES: HARD CUTOFF OF LIGHTS. INTENDED TO SUPPORT NAVIGATION.



**Bay View
 Management, LLC**

P.O. Box 812 Camden, ME 04843
 Phone (207) 236-0040 Fax (207) 236-2479

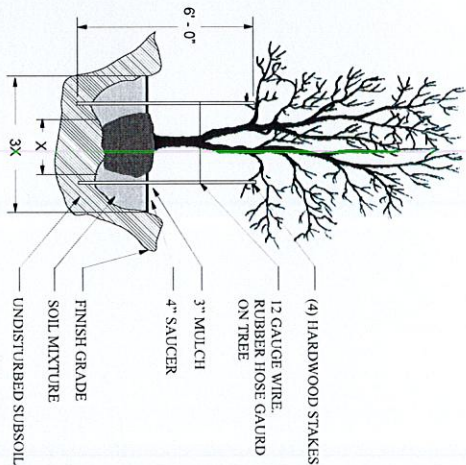
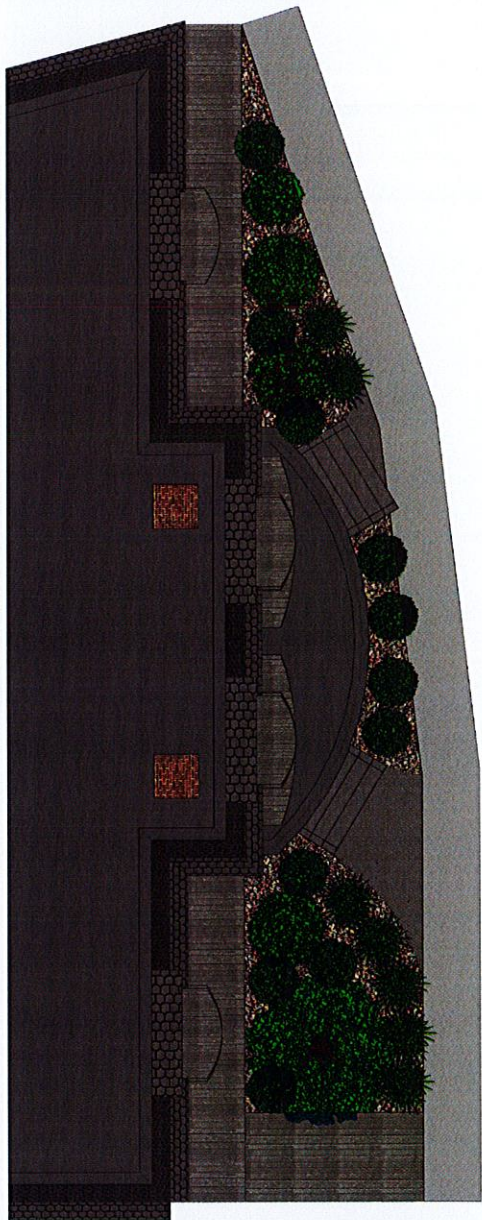
PROJECT:
ROCKPORT HARBOR HOTEL

LOCATION:
**20 CENTRAL STREET
 ROCKPORT, ME 04856**

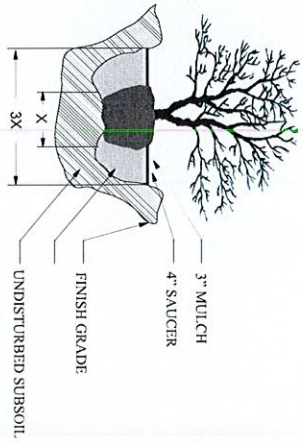
SHEET TITLE:
**BACK EXTERIOR
 LIGHTING PLAN**

DATE:
NOVEMBER 7, 2019

REV NEW








TREE PLANTING
 NOTE:
 1) TOP OF ROOT BALL TO BE 1" ABOVE FINISHED GRADE
 2) WATER BY FLOODING TWICE DURING FIRST 24 HOURS AFTER PLANTING



SHRUB PLANTING
 NOTE:
 1) TOP OF ROOT BALL TO BE 1" ABOVE FINISHED GRADE
 2) WATER BY FLOODING TWICE DURING FIRST 24 HOURS AFTER PLANTING

PLANT LIST

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
	1	ACER GINNALA	AMUR MAPLE	8" - 10"	SINGLE STEM TREE
	1	ABIES BALSAMEA	BALSAM FIR	6" - 8"	SINGLE STEM TREE
	12	BUXUS MICROPHYLLA	SPRINTER BOXWOOD	18" - 24"	CONTAINER
	3	HYDRANGEA PANICULATA	LIMELIGHT HYDRANGEA	2 GAL.	CONTAINER
	7	TOKIDAMA PLANTCORNALS	HOSTA	1 GAL.	CONTAINER

PLANTING SPECIFICATIONS

LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED PRIOR TO COMMENCEMENT OF WORK.
 ALL FINAL PLANT LOCATIONS SHALL BE VERIFIED IN FIELD.
 SOIL MIX FOR ALL CONTAINER PLANTS SHALL CONSIST OF THE FOLLOWING PARTS: (6) PARTS SOIL MIXED WITH (3) PARTS PEAT MOSS AND (1) PART DRY COW MANURE BY VOLUME.
 ALL PLANT PITS SHALL BE DIG THREE TIMES WIDER THAN THE ROOT BALL. SEE TREE AND SHRUB PLANTING SPECS.
 ALL DISTURBED AREAS SHALL BE SEEDED WITH GRASS AND 4" OF TOPSOIL.
 ALL PLANT BALLS OR CONTAINERS SMALLER THAN 18" DIAMETER SHALL BE SOAKED IN WATER PRIOR TO PLANTING.
 ALL PLANT BEDS AND SLOPES GREATER THAN 3:1 SHALL RECEIVE 3" LAYER OF BARK MULCH OR WOOD CHIPS. TREES TO RECEIVE 36" DIAMETER MULCH RING AT BASE.

LANDSCAPE PLAN

NOT TO SCALE



Bay View Management, LLC

P.O. Box 812 Camden, ME 04843
 Phone (207) 236-0040 Fax (207) 236-2479

PROJECT:
ROCKPORT HARBOR HOTEL

LOCATION:
**20 CENTRAL STREET
 ROCKPORT, ME 04856**

SHEET TITLE:
LANDSCAPE PLAN

DATE:
NOVEMBER 7, 2019

REV NEW

NOTE: UNINHABITED MECHANICAL EQUIPMENT LESS THAN 6FT ABOVE MAXIMUM BUILDING HEIGHT PER "302 DEFINITIONS- HEIGHT OF BUILDING"

ELEVATOR MECHANICAL SPACE — AS NEEDED

SIMULATED SLATE MANSARD ROOF

POWDERCOATED BLACK IRON RAILINGS (ALL DECKS)

HISTORIC BLACK IRON SUPPORT POSTS (ALL SIDE DECKS)

HISTORIC BRICK VINNEER

PANELED AND PAINTED FIRST FLOOR WALLS (FIRST FLOOR)

ADA RAMP ACCESS TO HOTEL AND 18 CENTRAL RESTAURANT FROM PUBLIC SIDEWALK

20 SQUARE FOOT BUILDING MOUNTED SIGN PER "1103.3 SIGN STANDARDS FOR DISTRICT 913"

PANELED AND CLEARCOATED FRONT DOORS (2 LOCATIONS)

GRANITE FRONT STEPS (2 LOCATIONS)



23' - 2"

29' - 2"

79' - 2"

27' - 0"

ROOF (MECHANICAL ACCESS ONLY)

10' - 0"

FIFTH FLOOR

9' - 0"

FOURTH FLOOR

9' - 0"

THIRD FLOOR

9' - 0"

SECOND FLOOR

11' - 0"

FIRST FLOOR (LOBBY)

39' - 0"

CENTRAL STREET SIDEWALK ELEVATION (HIGH POINT)

FRONT ELEVATION

1/4" = 1'-0"



Bay View Management, LLC

P.O. Box 812 Camden, ME 04843
Phone (207) 236-0040 Fax (207) 236-2479

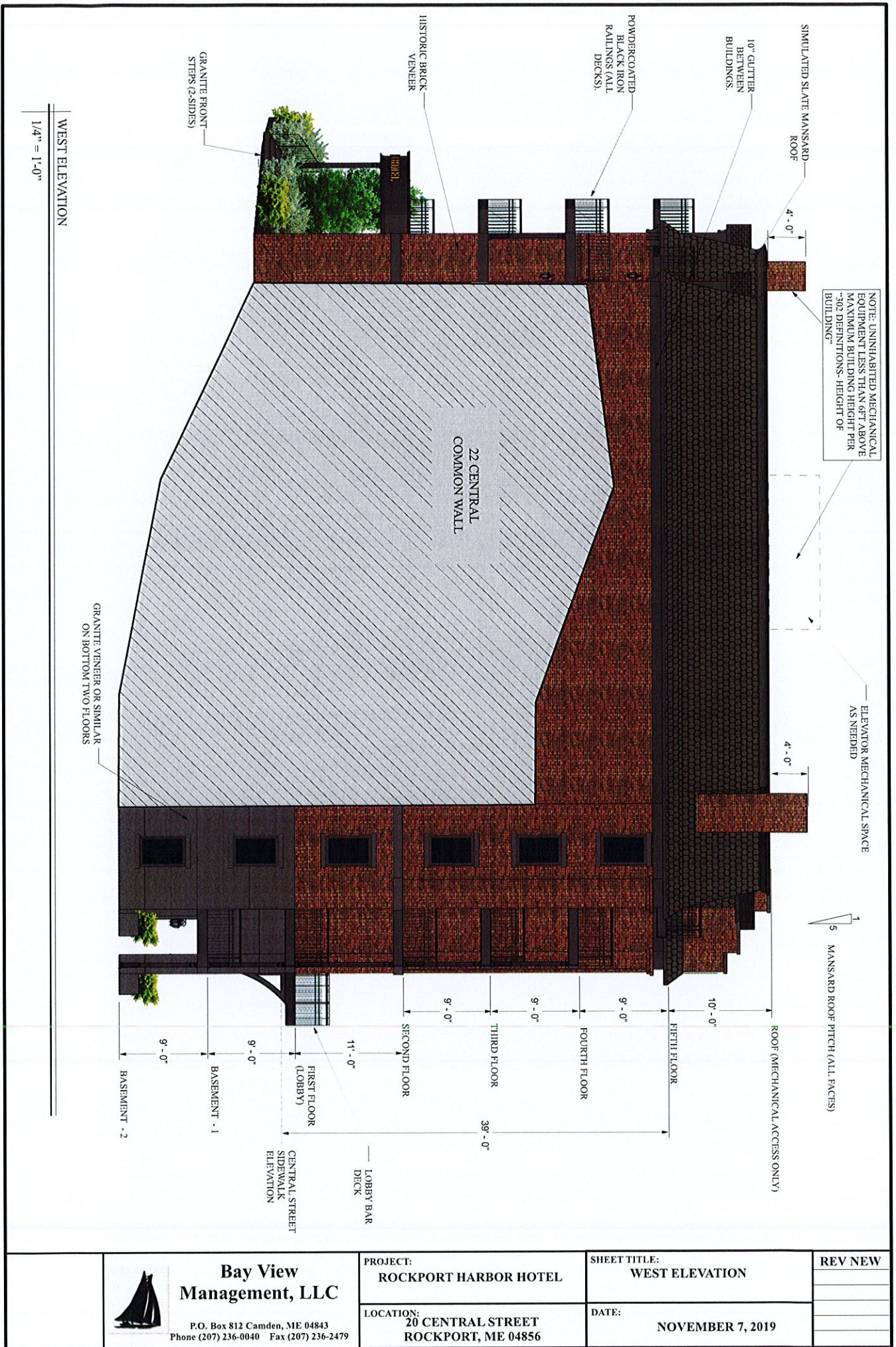
PROJECT:
ROCKPORT HARBOR HOTEL


LOCATION:
**20 CENTRAL STREET
ROCKPORT, ME 04856**

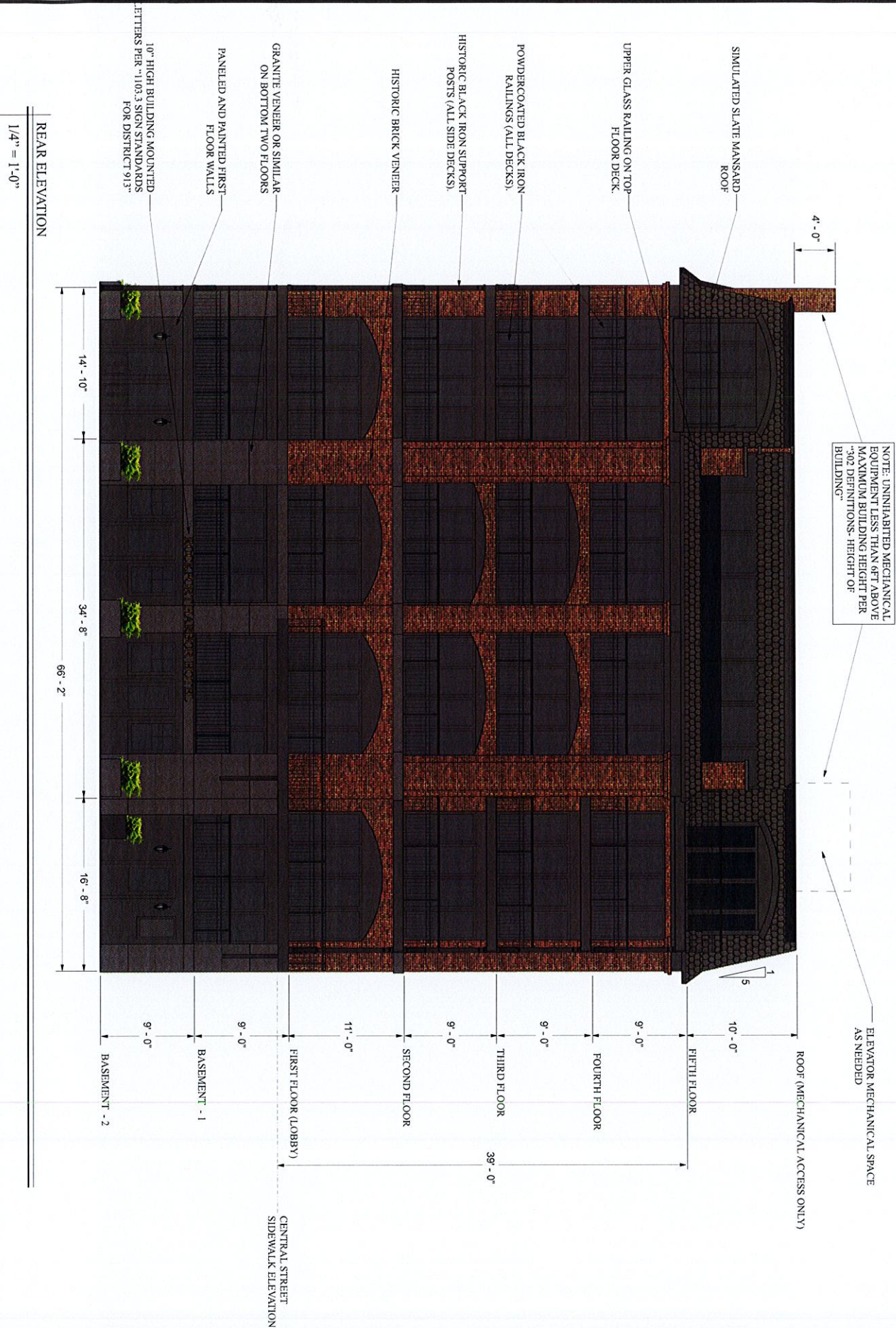
SHEET TITLE:
NORTH ELEVATION


DATE:
NOVEMBER 7, 2019

REV NEW



 <p>Bay View Management, LLC</p> <p>P.O. Box 812 Camden, ME 04843 Phone (207) 236-0040 Fax (207) 236-2479</p>	<p>PROJECT: ROCKPORT HARBOR HOTEL</p> <p>LOCATION: 20 CENTRAL STREET ROCKPORT, ME 04856</p>	<p>SHEET TITLE: WEST ELEVATION</p> <p>DATE: NOVEMBER 7, 2019</p>	REV NEW



 <p>Bay View Management, LLC P.O. Box 812 Camden, ME 04843 Phone (207) 236-0040 Fax (207) 236-2479</p>	<p>PROJECT: ROCKPORT HARBOR HOTEL</p>	<p>SHEET TITLE: SOUTH ELEVATION</p>	<p>REV NEW</p>
	<p>LOCATION: 20 CENTRAL STREET ROCKPORT, ME 04856</p>	<p>DATE: NOVEMBER 7, 2019</p>	



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Management, LLC**

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PROJECT:
ROCKPORT HARBOR HOTEL

LOCATION:
**20 CENTRAL STREET
ROCKPORT, ME 04856**

SHEET TITLE:
EAST ELEVATION

DATE:
NOVEMBER 7, 2019

REV NEW

MEMORANDUM

To: Bill Najpauer, Planner & Community Development Director
Town of Rockport

From: William B. Gartley, PE – President *WBG*
Gartley & Dorsky Engineering & Surveying Inc.

CC: Nate McLaughlin, PE
Woodward & Curran

Date: November 21, 2019

Subject: **20 Central Street LLC, Rockport Harbor Hotel** **Project #: 2018-128**
Response to Wood & Curran Sanitary Review

The purpose of this memo is to provide a response and additional information regarding the November 20, 2019 memo from Nate McLaughlin, PE of Woodard & Curran. We offer the following with regards to items 1 through 6 of the memo:

1. 20 Central Street LLC agrees that determining the ownership of the existing sewer line is important and is willing to negotiate an easement with the town for the existing sewer if it is determined to be private.
2. Gartley & Dorsky Engineering & Surveying, Inc. (G&D) has confirmed that the existing sewer lines in the parking area and in Main Street are 8" lines.
3. G&D has confirmed that there is a 6" sewer line heading towards the Opera House from the easterly most manhole in the parking area. We have not confirmed if the Opera House connects to it. We agree this should be confirmed by the Town.
4. The latest site plan (attached) clearly labels the 1500 gallon, H2O rated grease trap. G&D is fine with upsizing the 4" lateral and from the restaurant to a 6" lateral, that revision is made on the attached C1 sheet.
5. The grease trap sizing calculations (attached) show a required size of 1020 gallons, the 1500 gallons is quite conservative.
6. The note referencing a new 6" PVC sewer line inside the Shepard Building was an errant note on a preliminary plan. There is no new sewer line proposed in the Shepard Building.

The other item mentioned in the memo is the capacity of the Main Street extension pump station. 20 Central Street LLC and G&D support further investigation into the capacity of the pump station to ensure available capacity for the proposed use.

We will continue to work with the Town and Woodard & Curran to resolve these items.

We request that the Planning Board make any potential approval of the site plan: "Contingent upon satisfying the Town Wastewater Commissioners with regards to Sanitary Capacity for the proposed Rockport Harbor Hotel and Restaurants."

**Town of Rockport Planning Board
Meeting Minutes
Thursday, November 21~~st~~, 2019 – 5:30 p.m.**

Geoffrey C. Parker Conference Room
Rockport Opera House
Meeting Televised on Channel 22
Streamed on Livestream.com

Board Members Present: Chair Sternowski, Vice Chair John Viehman,
Ted Skowronski, Louis A. Laquaglia, Clark Doran, Tom
Laurent, Victoria Condon (Alt)

Board Absent: Jim Ostheimer

Staff present: Planning and Development Director Bill Najpauer

Chair Sternowski called the meeting to order at 5:30 PM and introduced the mission of the Planning Board

Item #1. Pre-Application by pine Gate Renewables Property under lease agreement located at 8 Fisk Lane Map 13 Lot 15 to install a solar project

The applicant introduced himself as a Maine based environmental consultant out of Portland in support of Pine Gate renewables. The size of the project was discussed as being 2 mega watts in size. It was explained that the project was a result of LD1711 which is the Act to Promote Solar Energy Projects and Distribute Green Resources in Maine. The interconnection will be road side along Rt 17. Meadow habitat will be preserved under the panels. Pine Gate stated that they are looking forward to working with the Town on this project.

The Board asked about the projected timeline of the project. Pine Gate stated that they are hoping to get through permitting by spring and be fully operational by 2020.

Chair Sternowski stated that the project was located in the 908 district which is zoned Rural, and that the project could fit under public utility facility section of the ordinance. There are no restrictions on the size or lot coverage of nonresidential structures under the 908-district zoning ordinance.

It was questioned whether this was a private or public company. Pine Gate explained that the company itself is privately owned but the power produced falls under public Utility Commission's jurisdiction.

Pine Gate was asked to pinpoint their location on the map and the location of the abutting residences. The single residence on the South East side of the proposal was shown, and the rest of the project is surrounded by trees. Pine Gate has not yet reached out to any abutting neighbors. More residences were located to the North of the proposal, and the Planning Board stated the importance of talking to the neighbors. Pine Gate stated that after the process of presenting the Pre-Application that they planned on hosting a community meeting about the proposed project where anyone of interest could come learn more and ask questions.

Other concerns were potential noise from the transformers, the potential security of the facility, and landscape vistas. Concerns about protecting the view from Rt. 17 were discussed. The decommissioning process was explained as well as upcoming opportunities for educating the public on Solar farms and renewable energy such as hosting schools at the proposal site.

The community meeting and presentation is planned for mid-December/January.

There were more questions pertaining to the size of the project, in particular how much energy production is projected and how many residences would the solar farm be capable of powering. It was explained that the 2 Mega Watts produced is approximate to powering 270 homes and that thanks to LD 1711 the power sold will remain in state. The Planning Board inquired if LD 1711 was driving the timeline of the project in which Pine Gate responded that yes, rule making (referencing LD 1711) is currently happening and by July 2020 procurement will happen if all permits are granted.

Item #2. Consideration of an application submitted by Marga & Stephen Hutchinson for the property at 6 Robinson Drive, map 16 Lot 95 to operate a Family Childcare business at their home.

The project was described as a family childcare business to operate in the residence Monday through Friday 7 AM to 5 PM. State licensing is pending. There will be up to 12 children ages 3-5.

MOTION: Viehman moved that the Chapter 1300 Site Plan Review application is complete. Laurent seconded.

CARRIED 7-0-0

There was a question as to the potential for the traffic impact during the morning commute. The applicant explained that the plan was to operate the childcare operation 7 AM to 5 PM and that children are typically dropped off in a sporadic manner and that the driveway is circular. The maximum amount of time to drop off a child is 10 minutes.

Chair Sternowski closed the public hearing as there were no more comments and questions.

MOTION: Viehman moved that the Board finds that the project meets the zoning requirements for allowable use in the 904 district. Laurent seconded.

Discussion:

The project falls under the definition of "Child Care Center" under chapter 300 of the Land Use Ordinance. It is a conditional use under the discretion of the Planning Board.

It was asked of the applicant as to what they would do if enrollment interest reached 12 or more children. The applicant answered that if enrollment were to reach those numbers that they would then look for an alternative location to lease.

CARRIED 7-0-0

MOTION: Viehman moved that the project meets Performance Standards 1305 and 800 of Rockport's Land Use Ordinance. Laquaglia seconded.

Discussion:

The building already exists and was previously used for commercial purposes. Minor interior remodeling needed, no change to exterior beyond playground that will be added and fenced in and that fence will be constructed to blend into the environment. The operation is set back from the road and the toys and equipment will not differ from those found at a typical residence. There is a circular driveway which allows parking onsite.

CARRIED 7-0-0

MOTION: Viehman moved that the proposal meets section 1000 Architect Review and Landscape standards of Rockport's Land Use Ordinance. Laquaglia seconded.

Discussion:

No changes proposed to exterior. Home is currently landscaped. The existing circular driveway allows for the parking space standard of one space per four children.

CARRIED 7-0-0

MOTION: Viehman moved to accept the application of Hutchinson located at 6 Robinson Drive to operate a child care facility on site.

Discussion-

Laurent wanted to know if the permit should be granted on a conditional basis based on DHHS approval. Najpauer explained that it was a separate permit under the Fire Marshal and state licensing and that the site plan review process covers all of the Board's requirements at Planning Board level.

CARRIED 7-0-0

Item #3. Consideration of an application submitted by Gartley & Dorsky for the property owned by 20 Central Street LLC located at 20 Central Street, Map 29 Lot 293 to construct a new 35- room hotel.

The hearing initiated with the Board recessing to review new information that was presented earlier that evening.

William Gartley, Tyler Smith and Stuart Smith were there to represent 20 Central LLC which proposes to construct a hotel in the 913 district. It was determined that hotels up to 40 rooms were allowed according to the Land Use Ordinance standards for that district, making this a permissible use. Allowable building height is 50 feet from sidewalk to rooftop, and 40 feet to eve line.

An overview of submitted materials was reviewed, including a letter from Maine water stating that there was existing adequate water supply. The landscape plan was included in the submission, along with a site plan depicting location of hotel, parking and a list of abutters. The proposal states that the building will be located all on one lot.

Tyler Smith discussed the site walk visit prior to the meeting and presented historic photos and graphic representation of the proposed hotel site and what it has looked like under past development. A rendering was shown with the three current buildings along the block and the proposed eve line in relation to the existing architecture which is ordinance driven and in compliance with code.

The building will be situated 12-15 feet back from the sidewalk, and ADA access was shown on the plans. The lot drops off 20 feet back behind the building back down to the parking lot behind it. The third floor of the proposed building will be considered the ground floor. The bar will be on the top floor and will be partially enclosed.

In regards to lighting standards, Tyler Smith spoke that the lighting at the proposed location will be similar to the hotel that the developer built in Camden located at 16 Bayview Street. The lighting will be installed for both navigation and aesthetic purposes. Some lighting will be on a timer from dusk to 11 PM with the ability for customers to turn them off if desired. Fixtures will not be visible from the ground floor. Some landscape lighting will be included. In the back of the building decks will be illuminated from above. Rendering presented to the Board included numbers corresponding to fixture description in plans.

An overview of the landscaping plan was presented, and the landscaping will allow better ADA access into the lobby. The landscaping out front will provide greenery all year round and overgrowth will be prevented.

Height of building was determined to be within Ordinance standards, including allowable mechanical space above the max height for which the hotel's elevator shaft will be extended above the roof height which is allowable under the 918 ordinance standards. The developer stated that the shaft will blend in aesthetically with the rest of the rooftop. Some ventilation will protrude from the top of the roof but will be painted to match.

The actual structure of the building will be steel with concrete poured floors. A historic looking brick façade will be installed, and the first floor will feature a paneled surface. The roof will appear flat but still be pitched enough to manage water.

It was asked if the building is designed to flow with the other buildings along that block. The developers stated that it was designed with historical elements in mind and to blend into the block. The first-floor panels will be Azek or wood paneling.

Signage would comply with the 20 square foot ordinance for that district and any signage in the back will comply with the Town's mounted sign ordinance.

It was asked if there was music planned at the rooftop bar and if it was enclosed enough to prevent noise from being an issue. The developer stated that in Camden they addressed this issue by only allowing acoustic music in which they will do the same in Rockport.

It was noted that individual mini split air conditioning units will be installed on roof deck. Access down Main Street and parking was discussed, and measurements were given regarding turning from Sandy's Way onto Main Street. Width of street in comparison to other two-way streets in the district was discussed as being consistent, and utilities were pointed out in parking area along with the Hotel's proposed grease trap location. The proposed grease trap will be larger than the one on site that is currently being used for the two existing restaurants. Forty-nine (49) parking spaces are currently located in the private lot behind the block of buildings. The Board asked if the windows in the rooms themselves could be open in which the developer responded that they can.

Sewer will be connected to the line located behind the proposed building. There were questions from the Board in regards to the completeness of the application. It was asked that the developer clarify the number of seats and how many of those seats would be seasonal to which the developer answered that one third of proposed seating will be seasonal only.

It was discussed that the letter from Maine Water is not clear that the infrastructure would meet requirements. The Size of the water line will be determined. Sprinkler will likely be 6 inches in diameter. Adequate flow test is pending, and the developer plans to negotiate easement with the Town in regard to the sewer line behind the building. The size of the proposed grease trap will be 1500 gallons.

The Fire Department has no serious concerns as long as the landscaping does not interfere with code. There was concern expressed by the Police Dept regarding the loading zone in front of Nina June restaurant could potentially cause a blind corner on Main Street. Najpauer clarified that the Police Department is suggesting at some point that the loading zone should be moved to a different area along Main St. There have previously been two crashes in the area over a long period of time. It is being recommended to the Town for further discussion.

Chair Sternowski asked about the width of Main Street. Gartley responded that the width of Main St. is 19.1 ft wide, compared with Central St. which is 19.7 ft wide between parked cars.

Najpauer stated that the town would schedule a test of the sewer pump and that it would likely be completed within the next two weeks.

Mike Young had submitted that in his opinion, the intersection can remain as is from a public works perspective. Drainage was addressed in the site plan.

MOTION: Viehman moved that the application submitted by Gartley & Dorsky for the property owned by 20 Central Street LLC located at 20 Central Street, Map 29 Lot 293 to construct a 35 room hotel is complete. Skowronski seconded.
CARRIED 7-0-0

Chair Sternowski opened the Public Hearing section of the meeting.

Three letters were received, and the Board has copies and comments to be entered into the record.

Mike Hampton identified himself as a resident of Rockport. He stated that he had concerns about the amount of parking and the overall aesthetics of the building. He wishes to hear more solutions from the developer pertaining to the parking issue. He felt that more details were needed on the overall size and detail of the project. Chair Sternowski asked Hampton to clarify if he was concerned with design and detail or just the overall size of the project in which Hampton answered that it was size as the building seems quite large. Regarding design Hampton stated that he was concerned about the balconies as they did not seem as they kept with the vernacular of Rockport on the street side.

John Priestly, a local resident and Architect, had a question for the Board regarding the history of site plan review for the proposed lot and past developments.

Chair Sternowski confirmed that he had the opportunity to look at the history of the lot and surrounding developments but has not shared his findings with the Board.

Priestly went on to his concerns about the ordinances and how the Planning board plans on applying the standards and cited the YMCA site plan and how parking was addressed as in parking is assigned to particular projects. Existing parking spaces are there because they were required as past site plan review for all of the projects that came before this. He views this as an attempt to ignore the obligation and the work of the Planning Board review of previous projects and ignore the intent of the ordinance and reassign the spaces to the new project even though they are already spoken for. When existing businesses are considered then there are not enough parking spaces to meet ordinance standards. Priestly stated that he does not want to come off as anti-development but has worked on a project previously to develop that lot and it included

parking at the basement level, in addition to what was already there, as well as less intensity of use in comparison to the current proposal. They were still able to develop a plan in accordance with standards and produce a profit.

A resident who resides at 6 Homestead Lane kindly asked how many people in the room had experienced 16 Bayview and to raise their hands if they have. He proceeded to tell the board that he believes this development would be progress for the Town as 18 Central and Nina June bring people to the area. He is in strong support of the proposal especially by someone as experienced as Stuart Smith. He encouraged everyone to check out 16 Bayview in Camden and to see the quality of the development.

A resident located at 9 Central street wished to hear how this proposal will impact the park itself and the trees there in particular. He stated that he has a vacation rental with views and the construction and destruction of the park is of great concern to him. The Board responded that there is no proposed development to Mary Lee park. Parking concerns were reiterated.

A Rockport Resident named Lisa stated that she had concerns about the parking situation, as well as concerns about the look of the proposed balconies. She wanted to know if they would look like the balconies at 16 Bayview in Camden. She would like to keep with the small town look and is wondering how that will be addressed.

A resident named Betsy spoke of concerns over parking and wanted the Board to realize that they are in the process of building a new Library and that the Select Board chose not to require additional parking because they concluded that there is so much parking downtown, including behind the Shepard's Block which is not true as its private parking. Hotel Guests will be entitled to use them but its limited to those guests. Parking concerns also include cars riding around looking for parking and the Hotel will add competition to those who are looking for parking spots.

Jennie Lynn Cooper, a Rockport resident, was curious as to what will happen to existing businesses and the impact on the block with the buildings being absorbed by this project. She clarified her statement and asked if this building was planned on being separate from the others. Tyler Smith interjected that there are no current plans to combine the buildings.

Taylor Allen of West Rockport and owner of Rockport Marine which is an abutter to the project spoke in big support to this plan and hopes that the Board will ultimately approve it.

Paula Goodride Aramatrout spoke of concerns about traffic and parking especially delivery trucks. She inquired as to the plans regarding the current outdoor dining area at 18 Central. Tyler Smith spoke that the plan was to eventually remove the outdoor dining area from the side of the building to the back, but ultimately that was a separate project.

Following comments received online were read to the Board:

A resident had questioned the location of the ADA entrance and its location in relation to the required ADA parking.

A resident asked where is the required traffic study if there is a traffic study required.

A resident had concerns about the height of the building as their understanding of the application shows the building to be more than the 50 foot ordinance standard.

A resident had concerns of the over extension of park and beach areas and how this is not addressed, and how this proposal will destroy property values. They feel that the Board asked more from the Solar guys.

A resident stated that parking is insufficient for hotel and staff never mind the restaurant and bars.

Michal Morse, a Summer St. resident, wants to understand how traffic patterns will be impacted by people parking and dropping their bags off and entering the Hotel.

With that the Public Comment portion of the meeting was brought to an end and the Board moved onto reviewing the Compliance of performance standards.

Zoning District Review- project fits within zoning district 913 downtown district. The Board referenced table section 900 which does allow Hotel. Note 9 in the section references size stating that no more than 40 room are allowed. No further discussion.

MOTION: Laquaglia moved that this is consistent with the zoning review and that a hotel project fits within the 913 zoning district. Laurent seconded.

CARRIED 7-0-0

801 Soil and Erosion Control- the proposal is outside of Shoreland zoning but standard DEP erosion practices will take place by any earth workers.

801.2 Security Bond to Town – Bill Najpauer stated that one is not required for this project.

The Board asked how much excavation will take place. The developer stated that the lower level of the building will not go all the way back to the lot because of ledge. Existing soil will be removed at parking lot level back to ledge which is about ½ to 2/3rds of the way back. No blasting will happen, but some ledge may be removed. Erosion and Sedimentation Control will be done using Best Practices.

801.3 Water Quality of Discharge – no plan to discharge wastewater.

801.4 Surface Storm Water Drainage- existing grates in parking lot and street level. A storm water system was previously installed which will be used with this project. Storm water will stay within private system and easements are in place with town and Fish and Ships LLC. A representative with Fish and Ships stated that stormwater that discharges

on their parking lot is from an unknown source. They recommend that it would be worth it to investigate and better understand the system.

801.5 Clear Cutting – not applicable.

801.6 Nuisances - It was asked if laundry was to be done onsite and if there were any associated smells.

The developer stated that laundry will be done on site, but plans may change. Laundry will not emit noticeable odors and that there are no issues at existing sites. Music will not be amplified at the rooftop restaurant and hours will comply with noise ordinances.

The Lighting plan does not include changes to parking lot lighting. Viehman raised concerns that the lights installed on the side of the building not be positioned as to reflect into the street. The developers stated that parking lot lights will be hard scrimmed in regards to property lines and all lighting will comply with Town ordinances. The balconies will have two sources of illumination including one with an auto shut off feature. Project will not feature any blinking lights.

801.8 - Exposed areas – N/A as there will be no external storage sheds, machinery, etc.

802 - not applicable

803 Traffic circulation and access street designs. Off street parking and loading standards require 2 parking spaces plus 1 parking space for each room making the project requirement be 37 spaces total which is addressed in the application. Restaurant would require 28 spaces. Peak times for the lobby restaurant and rooftop restaurant will not coincide.

The Board asked as to the number of employees would be required of the operation during the summer months. Eric Andersen, General Manager of 16 Bayview, spoke to projected staffing requirements explaining that at any given time 8-12 members of staff would be required during peak operation and as little as 5 in the offseason. He explained that these numbers were inclusive of the hotel. He spoke to the nature of the menu and how it is not intended to replicate 18 Central or Nina June. The proposed restaurant is intended to bring in locals and tourist, not just guest staying in the hotel. The rooftop bar will be of similar size to 16 Bayview which currently seats 40, and the downstairs restaurant and bar area has seating for 20, 35 if combined with standing room. 16 Bayview typically experiences 3 turns per tables resulting in approximately 120 guests per night on the busiest day.

The Board had a question pertaining to when the developer expects to experience maximum capacity. They stated that 16 Bayview is running at 30% occupancy currently with 56% during the weekends. These are offseason numbers. They are not expecting the same volume initially here in Rockport as 16 Bayview will likely take 5 years to plateau at market rate and Rockport is projected to take longer to reach that level.

The discussion reverted back to parking. Joe went through previous site plan reviews, including one from 2008 and two from 2012. He spoke to the number of spaces allocated to each proposal. There was concern that all of the spaces behind the hotel are already spoken for. Chair Sternowski stated that he feels that he could not make an accurate evaluation based on current information and encouraged the developer to come back to the Board with more information on current uses along the block and the current required parking for each.

Tom Laurent asked about projections beyond the 50 ft. Maximum requirement on the building. Bill Najpauer advised that you can go 6 ft. beyond the maximum roof specification with mechanical projections.

Viehman commented that the Town owns a big lot close by which is partially used for boat storage and wondered if this could be used in calculations pertaining to this project. Najpauer answered and stated that they are looking at pre engineering to develop it into parking but that its not something that will happen very quickly. After some more discussion it was reiterated that the developer come back with more information about current requirements and in comparison, to the needs of the new hotel as a baseline for the board to make their determination.

804, 806, 807, 808, 809, 810, 812, and 813 all are not applicable to the project.

Traffic study does not apply to section 803.3, it only applies to the Routes 1 and Route 90 corridors. The developer stated that there are no projected issues with check in and check out traffic.

Section 1000- Detail Performance Standards

Landscaping plans were submitted. Rear landscaping will be planter based and seasonal. Landscaping around existing parking areas features wild bushes around parking lot. No changes are going to be made.

Architecture Review Standards- in regards to public comments made about the balconies, the developer stated that railings will be wrought iron and the balconies will not go over sidewalk as they do at 16 Bayview. The railings will feature a flat black powder finish. It was determined that no other buildings downtown feature wrought iron I- beams, the overall project is developed with the idea that it will flow harmoniously with existing developments and surroundings. When asked about room sized the developer explained that street side rooms will be smaller then the ocean view rooms which will feature full bathrooms. All rooms will have balconies. There were no further suggested changes in plans.

Roof design is permitted, brick façade will blend with existing neighborhood, no awnings are planned, instead the front doors will be inset to protect guests from the elements.

1004.2 exceptions to Parking Lot Design and Landscaping was read which states that exceptions can be made when peak parking is not assigned. John Viehman stated that

shared parking shall be allowed for this project. If there are peaks in demand and you propose shared parking in your follow-up, please describe it.

John Viehman referenced the Comprehensive Plan. He spoke of the encouragement of economic development in the plan. He referred to the town's policy stated in the plan for business and economic growth. The five historic villages are identified as candidates for growth.

In final regards to public comments, the Board concluded that noise and height of building proposals meet ordinance standards, and that generally the hotel fits within the Town's comprehensive plan to attract economic growth, community vitality and health. Tyler Smith noted a comment from public comments regarding ADA parking. ADA spaces will be located in the back of the building with ADA access provided there.

MOTION: Laurent moved to approve a continuance with the applicant coming back to the board with more information on the following:

- Parking- 1004 Shared Parking
- Stormwater
- Pump/Sewer test and Hydrant test

Viehman seconded.

CARRIED 7-0-0

Item #4 Meeting Minutes- No Minutes to review

New Business – none

Item #5 Adjournment

MOTION: Laquaglia motioned to adjourn at **X:XX** PM. Victoria Condon seconded.

CARRIED 7-0-0